



staff report

TO: Honorable Chairman and Members of the Planning Commission

ATTENTION: Rowena Genilo-Concepcion, Interim Director of Planning and Building Services

FROM: Jason P. Clarke, Acting Planning Manager

SUBJECT: Consideration and possible action to conduct a public hearing to consider an application from Kim Prijatel (City Ventures, LLC) for a Mitigated Negative Declaration, a Zone Change, a Precise Plan, a Development Review and a Tentative Map, and adopt Resolution No. PC 17-21 – A Resolution recommending the City Council adopt Mitigated Negative Declaration No. MND 17-03, and approve Zone Change Case No. ZC 17-03 to change the Zone from M-1 (Light Industrial District) to M-1 PD M-1 PD (Light Industrial Planned Development) Overlay Zone; Precise Plan Case No. PP 17-02 and Development Review Case No. DR 9-17-8380 for a two- and three-story, mixed-use project consisting of 29-unit residential condominium units and a 1,603-square foot commercial space and Tentative Map No. TT 77198 to subdivide an existing 66,516-square-foot lot for condominium purposes on property located at 9958 Artesia Boulevard.

DATE: February 20, 2018

RECOMMENDATION

1. Open the public hearing, receive testimony, close the public hearing, consider the evidence, and adopt Resolution No. PC 17-21;
2. Alternatively, discuss and take other action related to this item.

PUBLIC NOTICE

A Notice of Public Hearing was published in the Herald American (Bellflower Edition) newspaper on February 1, 2018. Public hearing notices were sent on February 1, 2018 to 49 property owners within a 300' radius of the project area and posted at City Hall, Brakensiek Library, Bellflower Substation, Thompson Park, Simms Park, and Caruthers Park. A public hearing notice was also posted on the subject site on February 9, 2018. As of the writing of this staff report, the City has not received any correspondence[s].

CEQA STATUS

An environmental assessment has been conducted for this project in compliance with the California Environmental Quality Act (CEQA). An Initial Study and a Mitigated

Negative Declaration have been prepared and provided on the following link (<https://www.bellflower.org/civicax/filebank/blobdload.aspx?BlobID=31110>), and made available for public review from January 29, 2018, through February 17, 2018. Based on the environmental assessment, the proposed project and the recommended mitigation measures, the project is not anticipated to have a significant impact on the environment. As of February 14, 2018, the City received and responded to three comments regarding this project, which have been included on **Attachment C**. Additional comments may be presented during the Planning Commission meeting.

PROJECT BACKGROUND

Property Owner:	Henry P. Tiemeyer and Ana M. Tiemeyer Trustees of the Henry Tiemeyer Family Trust
General Plan Land Use Designation:	"I" Industrial
Zoning Classification:	M-1 (Light Industrial District)
Property Size:	66,516 sq. ft. (1.527 acres)
Current Development:	Auto repair center and multi-tenant retail building
Previous Applications/Entitlements:	Variance Case No. V 11-05 (Resolution No. PC 11-31)
Surrounding Land Uses and Zoning:	
North	C-G (General Commercial); single family residence; Commercial office building and multi-tenant commercial building
South	R-3 (Multiple Residential); two multifamily apartments
West	DFD (Design for Development for the South Bellflower Commercial Area); Mixed Use Development - 32 residential unit and 3,600 square foot with one residential unit.
East	M-1 (Light Industrial District); Tire shop

PROJECT AND PROPERTY HISTORY

- ***Existing Land Use Entitlements on the Site***

On December 19, 2011, the Planning Commission approved Variance Case No. V 11-05 (Resolution No. PC 11-31) to allow for three off-street parking spaces instead of the required 16 off-street parking spaces, for the existing commercial building located on the subject site (**Attachment H**). The subject site was comprised of the following two parcels at the time: 9936 Artesia Boulevard (APN: 7161-007-003) and 9958 Artesia Boulevard (APN: 7161-007-002).

The property owner also processed a lot adjustment to consolidate the two parcels into one parcel: APN: 7161-007-016. Since the Variance was approved for the existing development at the site, it will no longer be valid for the new construction. On 2-14-18,

staff spoke with the property owner and he agreed to relinquish the Variance. A condition of approval is included for the property owner to submit a signed letter relinquishing the Variance. The alternative to relinquishing the Variance is to revoke the Variance, but that would require a noticed public hearing at a separate meeting and the property owner did not want to do that. (**Condition No. 11, Resolution No. PC 17-21, Exhibit B**).

- **Development Review**

On November 1, 2017, a development review (DR Case No. 9-17-8380) was completed, at which time recommended conditions of approval were generated.

- **Existing Site Description**

The subject site is located on the south side of Artesia Boulevard, between Bellflower Boulevard to the west, and Woodruff Avenue to the east. The project site is currently being used as auto repair center and retail shops. The site is irregularly shaped, and is developed with three detached buildings, with approximately 57 on-site parking spaces. The site is bounded by perimeter walls and/or fences along the southerly, westerly, and easterly property lines. There are five driveway aprons along the north side of the property that provide access to the site; four will be removed. No easements exist on the property.

PROJECT DESCRIPTION

- **Description**

The project identified as "Bellflower 4", includes 29, two- and three-story (34'-0" to 38'-0" in height), mixed-use residential condominium units at a density of 18.99 dwelling units per acre (DU/AC) and a 1,603-square foot commercial space. There are five separate buildings within the development as described below:

- **Mixed Use Component**

Building 1 (Building 100): A mixed-use, two-story (34'-0" in height) building comprised of approximately 2,230 square feet of ground floor space and 1,991 square feet of second floor space for a total of 4,585 square feet. Total square footage includes residential and commercial floor areas, porch area, the deck area, interior walls, etc. The ground floor includes 1,603 square feet of commercial retail or office space fronting Artesia Boulevard, and a 2-car garage at the rear of the building. The residential unit on the second floor measures approximately 2,123 square feet in gross floor area, which is accessed from the rear of the building. The commercial space is an open floor plan with a restroom. The commercial space does not have any internal connection to the residential unit above.

➤ **Residential Component**

Building 2 (Building 400): Ten attached residential units, three-story (38'-0" in height), comprised of 7,613 square feet of ground floor space; 7,832 square feet of second floor space; and 7,263 square feet of third floor space, for a total of 22,708 square feet. The units measure between 1,542 square feet and 1,869 square feet.

Building 2 will be constructed around a concrete courtyard, which will provide entry to each unit.

Building 3 (Building 201): Five attached residential units, three-story (38'-0" in height), comprised of 4,035 square feet of ground floor space; 4,028 square feet of second floor space; and 3,711 square feet of third floor space, for a total of 11,774 square feet. The units will measure between 1,717 square feet and 1,787 square feet. The front façade of the building faces the rear property line.

Building 4 (Building 300): Eight attached residential units, three-story (38'-0" in height), comprised of 6,460 square feet of ground floor space; 6,487 square feet of second floor space; and 5,979 square feet of third floor space for a total of 18,926 square feet. The units will measure between 1,717 square feet and 1,787 square feet. The front façade of the building faces the rear property line.

Building 5 (Building 200): Five attached residential units, three-story (38'-0" in height), comprised of 4,033 square feet of ground floor space; 4,030 square feet of second floor space; and 3,714 square feet of third floor space, for a total of 11,777 square feet. The units will measure between 1,717 square feet and 1,787 square feet. The front façade of the building faces a large green space ("Proposed Parkland Dedication").

➤ **Floor Plan Types**

There are 3 floor plan types proposed for the project. Plan 1 is proposed for Building 1 with a two-car garage on the first floor (behind the commercial space), two bedrooms with an optional third bedroom/den, kitchen, dining room, living room, laundry room and two bathrooms on the second floor. Plans 2 and 3 are proposed for the remainder of the development which includes a maximum of 3 bedrooms with the following layout options:

Option 1: ADA-compliant bedroom, full bathroom, and two-car garage on the first floor; a dining room, kitchen, living room, laundry room, tech room, and powder room on the second floor; and two bedrooms and two full bathrooms on the third floor.

Option 2: One bedroom, full bathroom, and two-car garage on the first floor; a dining room, kitchen, living room, laundry room, tech room, and powder room on the second floor; and two bedrooms, a bonus room/den without a closet, and two full bathrooms on the third floor.

Option 3: Den with/without powder room, and two-car garage on the first floor; a dining room, kitchen, living room, laundry room, tech room, and powder room on the second floor; and three bedrooms and two full bathrooms on the third floor.

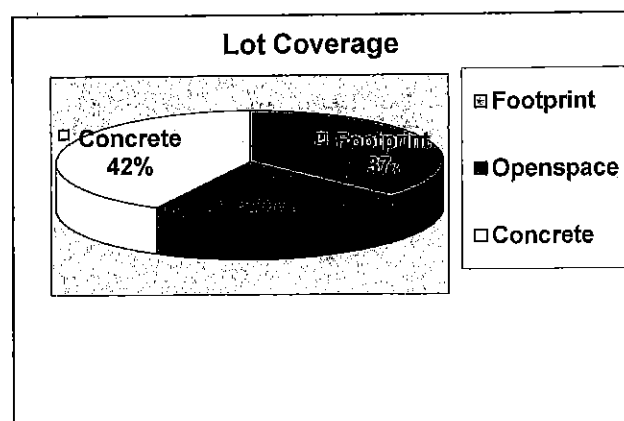
➤ Site Design Features

Site Layout: Per the proposed site plan (**Attachment J**), Building 1 is to be constructed at the northwest corner of the project site, fronting Artesia Boulevard. Buildings 2 and 5 are proposed within the middle of the project site. Building 2 fronts a courtyard, similar to the style in the “Bellflower 3” development; while Building 5 fronts the proposed parkland to be dedicated. Buildings 3 and 4 are proposed along the rear of the project site. Shared parking spaces are proposed located east of Building 1 (mixed- use building), near the project’s entry driveway to serve the commercial use and guest parking for the residences.

The main access for the development will be via a 28-foot wide, reversed “h” shaped, drive aisle/fire lane driveway, which is proposed to incorporate decorative pavement. The 28-foot wide drive aisle/fire lane between Buildings 1 and 2 leads and connects to the driveway of the “Bellflower 3” development to the west. The 28-foot wide driveway is reduced to 25 feet as it approaches the westerly and easterly portion of the development (between Buildings 2 and 3, and between Buildings 4 and 5). The drive aisle/fire lane that serves Buildings 2 (southerly portion of the building) and 3 also leads and connects to the driveway of the “Bellflower 3” development.

The project also includes internal sidewalks, enhanced concrete paving along the driveways, masonry seat walls, landscaping along the driveway, decorative pavers at the front doors, and colored concrete paving for pedestrians. No trash enclosure is proposed for the project instead the developer is proposing to utilize the trash enclosure from “Bellflower 3” for this development. A condition of approval is recommended that that the trash facilitator allows sharing of the trash enclosure and also require construction of a 6 -to 8-foot high, split face block wall along the perimeter of the subject property to match “Bellflower 3”. (**Condition No. 35, Resolution No. PC 17-21, Exhibit B**).

Lot Coverage square footage and percentage: The total building footprint proposed is 24,277 square feet (37% of the subject lot); the total open space/landscaping area proposed is 14,255 square feet (21% of the subject lot); and the total concrete driveways/walkways/paver areas proposed is 27,984 square feet (42% of the subject lot).



Parking: A total of 75 parking spaces are proposed, which is 2.5 spaces per unit. Each unit will be provided with attached two-car, 400 (+)-square foot garages (58 parking spaces). The garages include 32 square feet of overhead storage. A loading space is not required for the proposed commercial unit size. There are 17 open parking spaces proposed to be shared (commercial use and residential guest parking spaces); six spaces of which (five adjacent Artesia Boulevard and one near the front driveway) will serve the commercial space; 11 spaces will be provided adjacent the driveway for guest. The commercial component of “Bellflower 4” may also decide to share the 12 parking spaces and one loading space of “Bellflower 3” per the attached parking study

Architecture: The buildings will be designed with contemporary architectural features similar to “Bellflower 3.” The buildings will have flat roofs with parapets, stucco finishes (painted with earth-tone colors like charcoal, orange, white and gray), fiber cement siding, vinyl windows, metal railings, wood braces, metal cable trellises, metal awnings, and garages with metal sectional roll-up doors. The residential and commercial development includes brick veneer. The height of most of the buildings will be below 40 feet, measured from ground to top of parapet.

Landscaping/Open Space/Patios/Private Yards: Approximately 14,255 square feet of landscaping and open space areas are provided, in the form of shared courtyards between 10 units (Building 2), trees (i.e. 48-, 24- and 36-inch box), shrubs and groundcover. In addition, decks on the second floor (approximately 77 to 252 square feet) and/or private yard areas on the first floor (approximately 79 to 315 square feet) are proposed for some of the units. Landscaping is also proposed along the front of each garage wall, and along several areas of the driveway.

- ***Requested Dedication of Land for Park Purposes***

In addition to the requested entitlements (Zone Change, Precise Plan and Development Review, and Tentative Map), the applicant is proposing 14,255 square feet of openspace/private yard area/landscaping throughout the development. The applicant is proposing to dedicate approximately 9,700 square feet (.2227 acres) of the 14,255 square feet of open space for park and recreation purposes, in order to comply with Bellflower Municipal Code (BMC) § 3.36.010 (Land Dedication—Payment of Fees) and § 3.36.030 (Recreational Facilities Credit). The designated open space areas (***Attachment I***) are located: **1)** adjacent to Building 1; **2)** adjacent to Artesia Boulevard, near Building 5, **3)** along the driveway between Buildings 2 and 5, and **4)** between Buildings 3 and 4 at the south end of the site. Typically, the in-lieu parkland fee for a 29-unit residential development would be approximately \$493,667 (\$17,023 per unit). The land dedication request must be approved by City Council/City Manager.

- ***Requested Public Art***

In addition to the requested entitlements and land dedication, the applicant is also proposing to install three art pieces within the development pursuant to BMC Chapter

3.32 (Public Art). The art pieces will be located in the same three land dedication areas listed above (***Attachment J, Sheet L2***). Pursuant to BMC Chapter 3.32, the applicant can either pay a 1% fee based on the project valuation or install art at 1%. The public art request must be approved by City Council. A condition of approval is included to address the request or pay the fee (***Condition No. 10, Resolution No. PC 17-21, Exhibit B***).

DISCUSSION

- ***Zone Change/Planned Development Overlay***

Planning Law requires cities and counties to set forth goals, policies, and implementation programs for the long-term physical development of the community. Section 65302 (a) of the Government Code requires preparation of a land use element which designates the proposed general distribution and general location of the uses of land for housing, business, industry, public buildings, and open space.

The City of Bellflower's General Plan Land Use Element contains provisions that relate to the physical development of the City and to the organization of the City's environment in a functional and aesthetic pattern. The Land Use Element serves as the primary vehicle for ensuring the logical organization of residential, commercial, industrial, public/quasi-public (institutional/civic), and open space land uses to meet the needs of the community. Pursuant to BMC § 17.104.030 (Required Findings for Change of Zone), the Zone Change request meets the four findings outlined in Resolution No. PC 17-21.

- ***Precise Plan/Development Review***

Pursuant to BMC Chapter 17.60 (P-D PLANNED DEVELOPMENT OVERLAY DISTRICT), the Precise Plan provides flexibility in the evaluation of development standards for projects that incorporate and provide creative and innovative design elements and superior architecture; this may include but not limited to flexibility with yards, density, height of buildings, use, street dedications, open space, walls, fences, landscape buffers, parking, traffic concerns and street access. Furthermore, a proposed development must have no adverse effect upon any adjacent property, the neighborhood or the City and the proposed use must protect the public health, safety, convenience, interest and general welfare (BMC § 17.60.070 - Development Standards). The City can impose additional conditions of approval to ensure the project complies with the BMC and General Plan. Pursuant to BMC § 17.60.060 - Precise Plan—Findings for Approval) the Precise Plan request meets the four findings outlined in Resolution No. PC 17-21. Lastly, pursuant to BMC § 17.80.030 (Development Review Procedures), when a project is subject to development review and requires other approvals from the City, such as a subdivision or zone change, the development review will occur concurrently with the Planning Commission's review of the other requests.

Pursuant to BMC § 17.80.040 (Findings Required), the project meets the three findings outlined in Resolution No. PC 17-21.

- **General Plan and Zoning Consistency**

The project site is designated by the Land Use Element of the Bellflower General Plan as "I - Industrial." The General Plan allows for mixed-use development by way of "an Overlay Zone or Specific Plan in order to augment existing uses, therefore, adding value and an inducement to private investment. As with all other designations, the Zoning Ordinance will implement the specific provisions of the land use category." Pursuant to BMC Chapter 17.60 (Planned Development Overlay District), said project is being processed as a Planned Development Overlay. The proposed project will comply with the General Plan Land Use Element by establishing an overlay district on the project site which includes rezoning the project site from M-1 (Light Industrial District) to M-1 PD (Light Industrial Planned Development) Overlay Zone. Furthermore, the project is being created "in order to accommodate innovation in land use planning, both in existing commercial and multi-family residential areas," and to allow commercial and residential development on a single lot.

- **Tentative and Final Map**

The Subdivision Map Act requires a map for the subdivision of five or more parcels. Pursuant to BMC § 16.04.010 (Purpose and Intent), the purpose of the subdivision review is to regulate and control the division of land within the City and to supplement the provisions of the Subdivision Map Act concerning the design, improvement and survey data of subdivisions, the form and content of all required maps provided by the Subdivision Map Act, and the procedure to be followed in securing the official approval of the City regarding the maps.

The applicant is also proposing to connect "Bellflower 3" to "Bellflower 4" via a lot tie (between Tract Map 74043 and Tract Map 77198). Pursuant to the City Engineer, this must be approved by City Council during the final map process. Staff is also recommending the applicant contact the Fire Department for any required access approvals for this procedure. A condition of approval is included to address this request (**Condition No. 102 Resolution No. PC 17-21, Exhibit B**).

PROJECT ANALYSIS

- **General Plan Compliance**

The General Plan Land Use Element permits mixed-use developments via a Specific Plan or Planned Development Overlay. Because the General Plan permits mixed uses with an overlay, the General Plan designation would remain as "I" for "Industrial". The mixed-use is intended to facilitate improvements in areas that have stagnated and/or deteriorated over the years in the City; this is an incentive to attract investment and

improvement in the City. The proposed project is consistent with the following General Plan - Land Use Element goals and policies:

GENERAL

GOAL 1: Discourage disjoint land use patterns.

POLICY 1.1 Provide land use designations which match actual viable uses.

POLICY 1.2 Encourage opportunities to sensitively integrate different, but compatible, land uses.

GOAL 2: Create a City that functions efficiently, is aesthetically pleasing, and makes the best use of its various resources.

POLICY 2.1 Create opportunities wherein a population diverse in terms of income, age, occupation, race, lifestyle, values, interest, and religion may interact, exchange ideas, and realize common goals.

POLICY 2.2 Provide commercial facilities to meet the retail and service needs of the community.

POLICY 2.7 Carefully scrutinize plans for developments which will have a significant impact on the City or on surrounding developments to ensure the highest quality design.

POLICY 2.15 Encourage a greater proportion of home ownership and owner occupancy of multi-family developments.

GOAL 5: Provide incentives for reinvestment in aging, built-out developments and encourage consolidation of properties for higher quality land uses and designs.

MIXED USE

POLICY 1: Allow for innovative and/or neo-traditional uses in established area.

POLICY 2.1: The City shall consider difference mechanisms to implement new innovations in housing and commercial endeavors.

- ***Zone Change/Planned Development Overlay***

The proposed Zone Change to a "Planned Development Overlay" would allow for mixed-use development on the subject properties. Mixed-use development is a concept in which neighborhood-oriented commercial/office uses are integrated with residential uses. Typical mixed-use developments provide for street-level commercial uses, with residential uses developed over the commercial or immediately adjacent to the commercial or vice versa.

The mixed-use development would create commercial opportunities as well as housing opportunities for the City. The demand for housing in Bellflower and throughout Southern California has fueled an increase of mixed-use developments. By redeveloping under-utilized commercial areas (zoned both commercial and industrial), it is easier to increase the City's housing stock by means of mixed-use development.

- ***Precise Plan/Development Review***

The proposed Precise Plan/Development Review requests include the following

development standards based on the R-3 and C-G zone. The R-3 zoning development standards are being referenced because the project includes multifamily development and C-G (General Commercial) zone is referenced because the mixed use building is limited commercial uses only:

➤ *Density*

Based on the lot size and number of proposed units, the development has a density range between the R-2 and R-3 zones as shown and compared on the table below:

Table 1.0: Density

	Zone	density range per acre	unit per land	*lot size	allowed # of units
1.	R-2	8 to 13 units	3,350	66,516 sf	19
2.	M-1 (PD) Proposed	19 units	2,293	66,516 sf	29
3.	R-3	14 to 22	1,980	66,516 sf	33

*The lot size is based on the proposed development

➤ *Parking*

Proposed: A total of 75 parking spaces (2.5 spaces per unit) is proposed - 58 spaces are enclosed within garages; 17 spaces will be shared between the commercial and residential units; five are adjacent the mixed use building; and 12 additional guest spaces are located within the residential area in the rear. The BMC does not have parking standards specifically tailored to mixed-use developments; therefore, parking was analyzed based on the following R-3 and C-G zoning standards:

Table 2.0: Parking

Zone	Standard	Total per code	Proposed project
R-3	2-car garage per unit; 1 parking space for the 3 rd bedroom of each unit and 1 parking space per guest for each unit	116 spaces	69 spaces
C-G	1 parking space for 300 sq. feet of building area	6 spaces	6 spaces
Total		122	75

Comparison: For the Planning Commission's reference, the proposed parking may be compared to other, similar approved Planned Developments/Specific Plan projects with flexible parking standards, including the following:

1. "Bellflower 3", 32 residential units, mixed use development with 3,600 square feet of commercial space with 2.5 spaces per unit; Includes a total of 80 spaces, where 12 are shared and one loading space;
2. "The Boulevard Collection", a 67-unit mixed use development with 2.67 spaces per unit; Includes a total of 179 spaces, where 14 spaces are shared; and
3. "The Downtown Bellflower Collection", a 19-unit residential development with 2.5 spaces per unit; Includes a total of 45 spaces.

In addition, the City Engineer has reviewed both the traffic and parking study for the project and determined the site is adequately parked. In order to address the commercial parking spaces, a condition of approval is recommended to post "Commercial Parking Only" signs in front of the five parking spaces adjacent to Building 1 and one parking space at the beginning of the driveway leading to the residence in the rear; the site plan must be revised to designate the parking spaces (**Condition No. 61, Resolution No. PC 17-21, Exhibit B**).

➤ *Setbacks*

Proposed: Varying setbacks from the property lines for the residential and commercial development. The BMC does not have setback standards specifically tailored to mixed-use developments; therefore, setbacks were analyzed based on the following standards:

Table 3.0: Setbacks

Zone	Standard	Required	Proposed
R-3	Front Yard: Side and Rear Yard:	12.9 ft 5 ft or 8 ft	2.7 ft to 5.3 ft Sides: 5.2 ft Rear: 8.4 ft
C-G	Front Yard: Side and Rear Yard:	10 ft 0-3 ft	2.7 ft 5.2 ft

If traditional R-3 Zone residential setbacks were to be applied for the project, the proposed front yard setback would be 10.2 feet less than what would be required; the side and rear yard setbacks would be 2.8 feet less than what would be required. For the commercial component, if traditional CG setbacks were applied for the project, the proposed front yard setback would be 7.3 feet less on the west side of the building and 2.2 feet less on the east side of the property.

Comparison: For Planning Commission's reference, the setbacks may be compared to existing development adjacent to the proposed project and other projects built or approved in the City:

1. Front Yard Setback: "Bellflower 3" has a 1.8' front yard setback. Also, the existing development to the west of "Bellflower 3" has a 0 front yard setback.
2. Side Yard Setback: "Bellflower 3", has a 5.2' side yard setback.
3. Side and Rear Yard Setback: The required rear yard setback is consistent with the underlying M-1 District, which is 0 to 3 feet.
4. The "Belmont Court" development, a 30-unit mixed-use development in the Town Center has zero setbacks along the front, side, and rear property lines.

➤ *Building Height*

Proposed: Two- and three-story high buildings equivalent to 34'-0" and 38'-0". The

BMC does not have building height standards specifically tailored to mixed-use developments; therefore, building heights were analyzed based on the following standards:

Table 4.0: Building Height

Zone	Required	Proposed
R-3	two and one-half (2-1/2) stories or thirty-five (35) feet in height	34 ft (two-stories) and 38 ft (three-stories)
C-G	None indicated	One story

Comparison: The proposed project complies with the building height requirements of the C-G zone and is consistent with “Bellflower 3”, which is 2- and 3-story high buildings (33’-6” and 37’-10”). In addition, the proposed project is consistent with the heights of the existing buildings in the immediate vicinity, which are two- to three-story high.

➤ *Landscaping/Open Space/Patios/Decks/Private Yards*

Proposed: A total of 4,555 square feet of open space area (14,255 square feet, less 9,700 square feet for the parkland dedication) which includes, landscaping throughout the site in the form of trees, shrubs, ground cover, shared courtyards, private yard areas, shared walkways and patios/decks. The BMC does not have open space/hardscaped/landscape requirements specifically tailored to mixed-use developments; therefore, open space/landscape areas were analyzed based on the following standards:

Table 5.0: Openspace/Yards/Decks

Zone	Standard	Required	Proposed
R-3	Private Open Space	150 sf patio per unit	1. 24 units- have 77 to 252 sf decks 2. 18 units - 79 to 315 sf private yard areas
	Group Open Space for 11 units or more	1. Area: 25% of land, of which 75% for private open space. 2. Landscaping: 50% landscaped. One-half lawn or turf. Remainder ground cover, trees, etc. 3. Recreation: Max 40% paved (i.e. swimming pool, walks, patios, courts, fountains, etc.). Rec buildings no more than 10%.	14,255 (21%) sf of open space areas in the form of a shared courtyard, trees (i.e. 48, 24 and 36-inch box), shrubs and groundcover. 9,700 sf/.2227 AC dedicated to park land
C-G	Front Yard:	First 10 feet must	Less than 10 ft

	be landscaped:	
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Comparison: Since this is not a traditional project, open space/landscaping for the residential component may be compared to similar projects built or approved in the City and the commercial component may be compared to the C-G zone required landscaping for the front yard. For example:

1. "Bellflower 3", a mixed use development consisting of 32-residential units and 3,600 square feet of commercial space. The project includes openspace/landscaping for both residential and commercial component. 15,120 square feet of open/hardscape space provided. The residential component includes private yard areas, patios/decks, BBQ areas. The commercial component includes landscaping in the parking lot and within the front yard area.
2. "The Boulevard Collection", a 67-unit mixed use, residential and commercial development. The project included openspace/landscaping for both residential and commercial component. The residential component includes private yard areas, patios/decks, BBQ areas and small parks for kids. The commercial component includes landscaping in the parking lot and within the front yard area.
3. "The Downtown Bellflower Collection", a 19-unit residential development. The project included openspace/landscaping in the form of private yard areas, patios/decks, BBQ areas and a small park for kids.

Based on the information provided above, the proposed project meets the intent and purpose of the planned development overlay district, meets the precise plan findings for approval, and as conditioned, provides development standards that meet the intent of Chapter 17.60 (P-D Planned Development Overlay District). For example, the proposal includes creative design features and superior architecture. The proposed architecture is contemporary style with flat roofs. The building elevations will include the following exterior materials: brick along the face of Building 1 and the entryway of all residences, cement siding, decorative railings along the patio decks, and stucco finish. A condition of approval is recommended (**Condition No. 36, Resolution No. PC 17-21, Exhibit B**) for the project to include four-sided architecture with all the previously mentioned materials. The residential units include combination patios on the first floor and/or decks on the second floor with metal railings. The commercial component includes a decorative wood trellis.

The architecture for the proposed development is compatible with the surrounding buildings, as it relates to style and height. For example, "Bellflower 3" to the west has a similar site design and building materials. Also, there are at least two, 3-story residential apartments to the south of the development along Ramona Street, and at least one development that includes brick siding. A copy of the conditions of approval for the Precise Plan is provided in **Attachment A on Exhibit B of Resolution No. PC 17-21**.

- ***Tentative Map***

The Fire Department and City Engineer reviewed the proposed Tentative Map, including access, and provided recommended conditions of approval and comments. Should the Tentative Map be approved, a Final Map would also be required to be submitted for City Council approval (***Condition No. 129, Resolution No. PC 17-21, Exhibit B***).

- ***Traffic and Shared Parking***

As part of the review process, a "Traffic Study" and "Shared Parking Analysis" was submitted and incorporated in the environmental document. Based on the review of the Traffic Study, the City Engineer concluded that the proposed development can accommodate the anticipated number of vehicle trips to the site and will not significantly impact any roadways/intersections included in the Congestion Management Program.

Based on the review of the Shared Parking Analysis, the City Engineer agrees with the conclusion of the analysis, in that the proposed parking spaces can accommodate both the residential and commercial uses together (***Attachment G – pages 9-10***). In addition, the project is not subject to the City of Bellflower's Traffic Demand Management Ordinance, which is tied to the Los Angeles Congestion Management Program (LACMP). Conditions are recommended to address the number of parking spaces on site (***Condition No. 33f, Resolution No. PC 17-21, Exhibit B***).

- ***Trash Service***

For most of the previously approved planned development projects, individual trash barrels are provided for each residence. Each unit is typically provided with three individual barrels (regular trash, recyclables, and green waste) from the trash collection service provider. However, for the proposed project, each residential unit will only be provided with two barrels, one for trash and the other for recyclables. There will be no green waste barrel because the HOA will address the landscaped areas by hiring a third party landscape company to maintain the property. The trash and recyclable barrels would only be visible along the driveway during trash collection day and would be stored within the garage area. The developer contacted the trash collection service provider regarding on-site trash collection. The trash collection service provider has indicated that the proposed site layout is acceptable as it relates to on-site trash collection. The commercial component does not include a trash enclosure; the applicant is requesting to utilize the trash enclosure at "Bellflower 3."

- ***Development Review***

New residential and commercial projects are initially evaluated through a Development Review (DR) process. On November 14, 2017, the proposal was reviewed and approved, with conditions listed on Attachment A, Resolution No. PC 17-21, Precise Plan, DR, Tract Map Conditions of Approval, Exhibit B. A summary of conditions of approval generated during the DR process are listed below. The applicant was made

aware that additional comments and conditions could be generated by the Planning Commission and City Council.

- *Provide additional exterior materials to building elevations (Condition No. 36);*
- *Additional bedrooms or conversion of existing rooms to bedrooms are prohibited (Condition No. 48);*
- *Provide amenities to all community areas (Condition No. 53);*
- *Submit separate landscape plan with details (Condition No. 35);*
- *Provide illuminated address sign on building walls and site map (Condition No. 49);*
- *Submit a master sign plan (Condition No. 50); and*
- *Submit construction phasing plan and traffic control plan (Condition No. 55).*

CONCLUSION

The proposed project is consistent with various goals and policies of the General Plan. In addition, the proposed project will not be detrimental to the existing community or surrounding neighborhood and will create additional housing and commercial opportunities. The project helps with the City's vision to revitalize underutilized commercial areas or deteriorated commercial areas. Therefore, staff recommends the Planning Commission adopt Resolution No. PC 17-21, recommending the City Council approve the project, as conditioned.

ATTACHMENTS

- A. Resolution No. PC 17-21 (with attachments)
- B. Environmental Documents (Initial Study & MND 17-03)
- C. Responses to Comments / Mitigation and Monitoring Report
- D. DR Letter Case No. DR 9-17-8380
- E. Aerial, Assessor's Map, Zoning Map & Land Use Map
- F. 300' Radius Map
- G. Shared Parking Study
- H. Variance Case No. V 11-05 (Staff Report and Resolution)
- I. Updated Plan for Park Land Dedication Request
- J. Project Plans

CITY OF BELLFLOWER

RESOLUTION NO. PC 17-21

A RESOLUTION RECOMMENDING THE CITY COUNCIL ADOPT MITIGATED NEGATIVE DECLARATION NO. MND 17-03, AND APPROVE ZONE CHANGE CASE NO. ZC 17-03 TO CHANGE THE ZONE FROM M-1 (LIGHT INDUSTRIAL DISTRICT) TO M-1 PD (LIGHT INDUSTRIAL PLANNED DEVELOPMENT) OVERLAY ZONE, PRECISE PLAN CASE NO. PP 17-02 AND DEVELOPMENT REVIEW CASE NO. DR 9-17-8380 FOR A TWO- AND THREE-STORY, MIXED USE PROJECT CONSISTING OF 29-UNIT RESIDENTIAL CONDOMINIUM UNITS AND A 1,603-SQUARE-FOOT COMMERCIAL SPACE AND TENTATIVE MAP NO. TT 77198 TO SUBDIVIDE AN EXISTING 66,516-SQUARE-FOOT LOT FOR CONDOMINIUM PURPOSES FOR THE PROPERTY LOCATED AT 9958 ARTESIA BOULEVARD; APPLICANT: KIM PRIJATEL (CITY VENTURES, LLC).

THE PLANNING COMMISSION RESOLVES AS FOLLOWS:

SECTION 1. *Recitals.* The Planning Commission finds and declares as follows:

1. On September 28, 2017, Kim Prijatel (City Ventures, LLC). (the "Applicant") filed an application for Zone Change Case No. ZC 17-03, Precise Plan Case No. PP 17-02, Development Review Case No. DR 9-17-8380, and Tentative Map No. TT 77198 for property located at 9958 Artesia Boulevard. On December 21, 2017, the project application was deemed complete.
2. The application was reviewed by the City for, in part, consistency with the General Plan and conformity with the Bellflower Municipal Code ("BMC").
3. Notices of Public Hearings before the Planning Commission was duly given and published in the time, form, and manner as required by law.
4. An environmental assessment has been conducted for this project in compliance with the California Environmental Quality Act (CEQA). An Initial Study and a Mitigated Negative Declaration have been prepared and are attached. Based on the environmental assessment, the proposed project and the recommended mitigation measures, the project is not anticipated to have a significant impact on the environment. The 20-day public review period was from January 29, 2018, through February 17, 2018.
5. On November 1, 2017, a development review (DR Case No. 9-17-8380) was completed, at which time recommended conditions of approval were generated.
6. On February 20, 2018, the Planning Commission held a public hearing to receive public testimony and other evidence regarding the application including, without limitation, information provided to the Planning Commission by Applicant.
7. The Planning Commission considered the information provided by City Staff, public testimony, and the Applicant. This Resolution, and its findings, are made based upon the evidence presented to the Planning Commission at its February 20, 2018 hearing including, without limitation, the staff report.

SECTION 2: *Factual Findings and Conclusions.* The Planning Commission finds as follows:

1. The Applicant seeks to change the zoning designation from M-1 (Light Industrial District) to M-1 (PD) (Light Industrial District-Planned Development) Overlay Zone, implement a precise plan and development review for more flexible development standards and finally subdivide an existing lot for condominium purposes at 9958 Artesia Boulevard
2. 9958 Artesia Boulevard is located within M-1 (Light Industrial District) with a General Plan – Land Use Designation of “I” (Industrial).
3. The subject site is 66,516-square-foot (1.527 Acres) and is being developed as a two-and three-story, mixed-use project consisting of 29-unit residential condominium units and a 1,603-square foot commercial space for condominium purposes.

SECTION 3. *Environmental Review Findings.* The Planning Commission finds as follows:

1. An Initial Study of Environmental Impacts and Mitigated Negative Declaration (MND) were prepared for the project in accordance with the provisions of the California Environmental Quality Act (CEQA), State CEQA Guidelines, and the City of Bellflower's Procedures for Implementing CEQA.
2. That the Initial Study and Mitigated Negative Declaration were made available to the public for review and comment from January 29, 2018, to February 17, 2018.
3. A duly noticed Public hearing was held by the Planning Commission of the City of Bellflower on February 20, 2018 at which time evidence was heard on the Initial Study and Mitigated Negative Declaration and staff report. At the hearing, the Planning Commission fully reviewed and carefully considered the Initial Study and Mitigated Negative Declaration, together with any comments received during the public review period, and determined that the Mitigated Negative Declaration was consistent with CEQA.

SECTION 4. *General Plan Findings.* The Planning Commission finds as follows:

1. The Planned Development proposed in the application will be in the interest or furtherance of public health, safety and general welfare, because it allows for the redevelopment of a subject site that is developed with an auto repair center and retail building. The redevelopment of the subject site will likely result in an increase of property values within the surrounding area. The proposed project will comply with applicable standards and requirements contained in the City Codes and California Building Code relating to construction and paving, structural foundations, etc. Compliance with these standards and requirements ensure that future construction of the proposed project would not be compromised or cause hazards to the public. In addition, the proposed Planned

Development is consistent with all other provisions of the General Plan and good planning practice that promotes future commercial and residential development(s).

2. The Planned Development furthers the goals and policies of the General Plan because it creates areas for physically viable development and integrates different, but compatible, land uses.

SECTION 5. *Zone Change Findings.* The Planning Commission finds as follows:

1. There are changed conditions since the existing zoning became effective to warrant other or additional zoning, in that the Regional Housing Needs Assessment (RHNA) assigned by the California Department of Housing and Community Development (HCD), through Southern California Association of Governments (SCAG), for the City of Bellflower's 4th (2008-2014) and 5th (2014-2021) Housing Element cycles is 1,069 units. The City must make sites available to accommodate the construction of those 1,069 units. The proposed zone change from M-1 (Light Industrial District) to M-1 (PD) (Light Industrial District-Planned Development) Overlay Zone would allow for a mixed use development and residential development, which will count towards meeting the assigned RHNA allocation.
2. The proposed change of zone will not adversely affect adjoining property as to value or precedent, and will not be detrimental to the area, in that the proposed zone change from M-1 (Light Industrial District) to M-1 (PD) (Light Industrial District-Planned Development) Overlay Zone would allow for an existing developed industrially zoned parcel to be redeveloped for mixed-use development that incorporate both residential/commercial mixed use and residential uses. The City Engineer has reviewed the traffic study and determined the parking will not adversely affect the neighboring properties. The project will likely increase the value of surrounding properties, since the project site is currently developed for auto repair uses. The project will not create a negative precedent, and instead furthers the City's interests in increasing its housing stock and increasing mixed-uses. The proposed zone change would be consistent with the commercial and residential zoned properties surrounding the subject site.
3. The change of zone will be in the interest or furtherance of public health, safety and general welfare, in that the proposed project will comply with applicable standards and requirements contained in the City Codes and California Building Code relating to construction and paving, structural foundations, etc. Compliance with these standards and requirements ensure that future construction of the proposed project would not be compromised or cause hazards to the public. One of the requirements for the project is to include a storm water containment/treatment system, which the subject site currently does not have.
4. That the approval of such change of zone will not adversely affect the Comprehensive Zoning Plan in that the zone change from M-1 (Light Industrial District) to M-1 (PD) (Light Industrial District-Planned Development) Overlay Zone would allow for more viable opportunities along Artesia Boulevard. The

proposed zone change would not adversely affect the comprehensive zoning plan in that mixed-use developments will comply with the development standards set forth within the Precise Plan, Development Review and the zoning code.

SECTION 6. *Precise Plan Findings.* The Planning Commission finds as follows:

1. That the proposed project is compatible with the surrounding neighborhood and adjacent properties in that there are existing multifamily residential developments 2 and 3 stories tall nearby as well as similar commercial properties with the similar uses and commercial building locations in the front of the property. In addition the commercial building design is modern and similar in height and style with an existing commercial building to the west of the subject site.
2. That the proposed project incorporates superior site design techniques that demonstrate innovative and creative utilization of design principles in that the proposal provides mixed use development that incorporates both residential and commercial components where the mixed use component is at the street level and remaining residential uses are towards the rear of the lot. In addition, the buildings are properly spaced apart to allow for functional space and access to the site. The proposed driveways are code complaint for vehicles and adequate access is provided for emergency vehicles. The project proposes openspace/landscaping throughout the project area as well for the residents and commercial tenants. The site is properly parked at 2.5 spaces per unit with shared parking between the commercial and residential uses. The site will include new perimeter split face walls, proper lighting, both pedestrian and vehicles access, decorative paving.
3. That the proposed project demonstrates superior architecture and the use of high-quality building materials, building fixtures and architectural treatments and amenities in that the proposal includes a mixed use development with residential and commercial uses and also incorporates contemporary architectural features. The buildings will have flat roofs with parapets, cable trellises, stucco finishes painted with earth-tone colors like charcoal, orange, white, and grays, fiber cement siding, vinyl windows, metal railings, wood braces, metal awnings, and garages with metal sectional roll-up doors. The buildings also include brick veneer. Furthermore the proposal is conditioned to added additional architectural features and amenities to the site.

That the proposed project has open space that is designed in a manner where the open space is functional and is grouped in a manner that maximizes the appearance and use of open space in that the site provides 10,980 square feet of common landscaped area and, 5,601 square feet of private home owner areas equivalent to 24% coverage of the entire site. The open and hardscape spaces include patios, decks/balconies, courtyards, concrete seating areas, trees, shrubs and ground cover.

SECTION 7. *Development Review Findings.* The Planning Commission finds as follows:

1. *That the proposal is consistent with the Bellflower General Plan and the Zoning Code.*

The proposed project is consistent with the City's general plan in that the proposed project will result in the subdivision of existing parcels for the development of mixed use multifamily attached units within a planned development overlay in accordance with the General Plan Land Use Element.

The subject property will be improved with uses consistent with the goals and policies of the General Plan, including but not limited to: Goal 1 (Discourage disjoint land use patterns), Goal 2 (Create a City that functions efficiently, is aesthetically pleasing, and makes the best use of its various resources); Goal 5 (Provide incentives for reinvestment in aging, built-out developments and encourage consolidation of properties for higher quality land uses and designs); Policy 1.1 (Provide land use designations which match actual viable uses); Policy 1.2 (Encourage opportunities to sensitively integrate different, but compatible, land uses); Policy 2.1 (Create opportunities wherein a population diverse in terms of income, age, occupation, race, lifestyle, values, interest, and religion may interact, exchange ideas, and realize common goals); Policy 2.2 (Provide commercial facilities to meet the retail and service needs of the community); Policy 2.7 (Carefully scrutinize plans for developments which will have a significant impact on the city or on surrounding developments to ensure the highest quality design); Policy 2.15 (Encourage a greater proportion of home ownership and owner occupancy of multi-family developments); Policy 5.2 (Allow different development standards for consolidated properties where it is possible to provide amenities in a different manner than is necessary on smaller lots (i.e. centralized parking and open space with shared access)). The proposal is also consistent with the following policies from the Mixed Use section: Policy 1 (Allow for innovative and/or neo-traditional uses in established area) and 2.1 (The City shall consider different mechanisms to implement new innovations in housing and commercial endeavors). Finally the project is unique to the zoning code because it includes its own development standards via a precise plan/planned development that will require approval from the Planning Commission and City Council.

2. *That the design of the proposal is appropriate to the City, the neighborhood, and lot on which it is proposed.*

That the proposed project is compatible with the surrounding neighborhood and adjacent properties in that there are existing multifamily residential developments 2 and 3 stories tall nearby as well as similar commercial properties with the similar parking layouts and commercial building locations directly across the street from the property. In addition the commercial building design is modern

and similar in height and style with an existing commercial building to the north of the subject site and similar to a recently approved project to the west.

3. *That the design of the proposal is compatible with its environment with respect to use, forms, materials, colors, setbacks, location, height, design, or similar qualities as specified in §17.80.010 (Intent and Purpose).*

That the proposed project incorporates superior site design techniques that demonstrate innovative and creative utilization of design principles in that the proposal provides mixed use development that incorporates both residential and commercial components where the mixed use component is at the street level and remaining residential uses are towards the rear of the lot. In addition, the buildings are properly spaced apart to allow for functional space and access to the site. The proposed driveways are code complaint for vehicles and adequate access is provided for emergency vehicles. The proposal includes common openspace/landscaping throughout the project area as well for the residents and commercial tenants. The site will include new perimeter split face walls, proper lighting, both pedestrian and vehicles access, decorative paving. All structures must have minimum "four-sided" architecture treatment/elements. The residential and commercial buildings include brick/stone veneer, cement siding, metal awnings, balconies with metal railings, flat roof, decorative parapets and stucco. The buildings have varied setbacks and building heights range from 2 to 3 stories. The above features are compatible with surrounding adjacent commercial and residential uses.

SECTION 8. *Tentative Map Findings.* Pursuant to Government Code § 66474, the Planning Commission finds as follows:

1. That the proposed map is consistent with the City's general plan in that the proposed project will result in the subdivision of existing parcel for the development of mixed use multifamily attached units within a planned development overlay in accordance with the General Plan Land Use Element. The subject property will be improved with uses consistent with the goals and policies of the General Plan, including but not limited to:
 - a. Goal 1 (Discourage disjoint land use patterns),
 - b. Goal 2 (Create a City that functions efficiently, is aesthetically pleasing, and makes the best use of its various resources),
 - c. Goal 5 (Provide incentives for reinvestment in aging, built-out developments and encourage consolidation of properties for higher quality land uses and designs),
 - d. Policy 1.1 (Provide land use designations which match actual viable uses),
 - e. Policy 1.2 (Encourage opportunities to sensitively integrate different, but compatible, land uses),
 - f. Policy 2.1 (Create opportunities wherein a population diverse in terms of income, age, occupation, race, lifestyle, vales, interest, and religion may interact, exchange ideas, and realize common goals),
 - g. Policy 2.2 (Provide commercial facilities to meet the retail and service needs of the community),

- h. Policy 2.7 (Carefully scrutinize plans for developments which will have a significant impact on the city or on surrounding developments to ensure the highest quality design), and
- i. Policy 2.15 (Encourage a greater proportion of home ownership and owner occupancy of multi-family developments).

The proposal is also consistent with the following policies from the Mixed Use section: Policy 1 (Allow for innovative and/or neo-traditional uses in established area) and 2.1 (The City shall consider different mechanisms to implement new innovations in housing and commercial endeavors).

2. That the design or improvement of the proposed subdivision is consistent with applicable general and precise plan in that the proposed project will result in the subdivision of existing lot into 29 residential condominium units (for purposes of multi-family and common area) and 1,603 commercial condominium unit, which will be consistent with the "Mixed Use" General Plan Land Use designation. The subject property consists of land uses consistent with the goals and objectives of the General Plan.
3. That the site is physically suitable for the type of development in that the site is currently developed with an auto repair center and retail building surrounded by urban uses, including commercial, industrial and residential zoned properties. The subject property will be developed with a mixed use development consisting of one multi-family mixed unit and 28 multi-family residential units, which will be in compliance with the zoning requirements of the subject site.
4. That the site is physically suitable for the proposed density of development in that the proposed project consists of 29 multi-family attached residential units on a property that measures 1.527 acres. The proposed project is at a density of 18.99 Unit per Acre (DU/AC), which is within the range of the high density residential land use designation (14-22 DU/AC). Pursuant to the General Plan – Land Use Element, this density is appropriate in proximity to areas of high intensity (industrial) of use such as adjacent to major arterials, which applies to the proposed project.
5. That the design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat in that the proposed project will result in the subdivision of existing, land located in an urban area that is fully developed. The proposed project will not be built on or near habitats.
6. That the design of the subdivision or type of improvements is not likely to cause serious public health problems in that the design of the proposed project will comply with applicable standards and requirements contained in the BMC and California Building Code relating to construction and paving, structural foundations, etc. Compliance with these standards and requirements ensure that future construction of the proposed project would not be compromised or cause hazards to the public.

7. That the design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision in that the conditions of approval will require that public rights of easements will not be interfered with, and that statements of concurrence be provided from utility companies whose easements may be affected by the proposed development.

SECTION 9. *Recommendation.* Based on the foregoing, the Planning Commission recommends the City Council adopt Mitigated Negative Declaration No. MND 17-03 and approve Zone Change Case No. ZC 17-03, as reflected in the attached Exhibit "A" (locator map indicating the subject site and the proposed Zone Change from M-1 to M-1 (PD), Precise Plan Case No. PP 17-02, Development Review Case No. DR 9-17-8380 and Tentative Map Case No. TT 71798, subject to the conditions listed on the attached Exhibit "B," which is incorporated into this Resolution by reference. The property must be developed in substantial conformity with the plans date stamped December 21, 2017.

SECTION 10. *Reliance on Record.* Each and every finding and determination in this Resolution is based on the competent and substantial evidence, both oral and written, contained in the entire record relating to the project, and reflect the independent judgment of the Planning Commission. The findings and determinations constitute the independent findings and determinations of the Planning Commission in all respects and are fully and completely supported by substantial evidence in the record as a whole.

SECTION 11: *Limitations.* The Planning Commission's analysis and evaluation of the project is based on the best information currently available. It is inevitable that in evaluating a project that absolute and perfect knowledge of all possible aspects of the project will not exist. One of the major limitations on analysis of the project is the Planning Commission's lack of knowledge of future events. In all instances, best efforts have been made to form accurate assumptions. Somewhat related to this are the limitations on the City's ability to solve what are in effect regional, state, and national problems and issues. The City must work within the political framework within which it exists and with the limitations inherent in that framework.

SECTION 12: *Severability.* If any part of this Resolution or its application is deemed invalid by a court of competent jurisdiction, the Planning Commission intends that such invalidity will not affect the effectiveness of the remaining provision or application and, to this end, the provisions of this Resolution are severable.

SECTION 13: *Preservation.* This Resolution does not affect any penalty, forfeiture, or liability incurred before, or preclude prosecution and imposition of penalties for any violation occurring before, this Resolution's effective date. Any such amended part will remain in full force and effect for sustaining action or prosecuting violations occurring before the effective date of this Resolution.

SECTION 14: This Resolution takes effect immediately and will remain effective until superseded by a subsequent resolution.

SECTION 15. The Planning Commission Secretary is directed to mail a copy of this Resolution to the Applicant/Property Owner(s) and to any other person requesting a copy.

SECTION 16: The Planning Commission Chairman, or presiding officer, is hereby authorized to affix his signature to this Resolution signifying its adoption by the Planning Commission of the City of Bellflower, and the Planning Commission Secretary is directed to attest thereto.

**PASSED, APPROVED, AND ADOPTED BY THE PLANNING COMMISSION
OF THE CITY OF BELLFLOWER THIS 20th DAY OF FEBRUARY 2018.**

George Franzen, Chairman

Attest:

Rowena Genilo-Concepcion, Interim Secretary

APPROVED AS TO FORM:

David H. King, Assistant City Attorney

Attachment(s):

Exhibit A: Zone Change Map

Exhibit B: Proposed Precise Plan, Development Review and Tentative Map Conditions of Approval

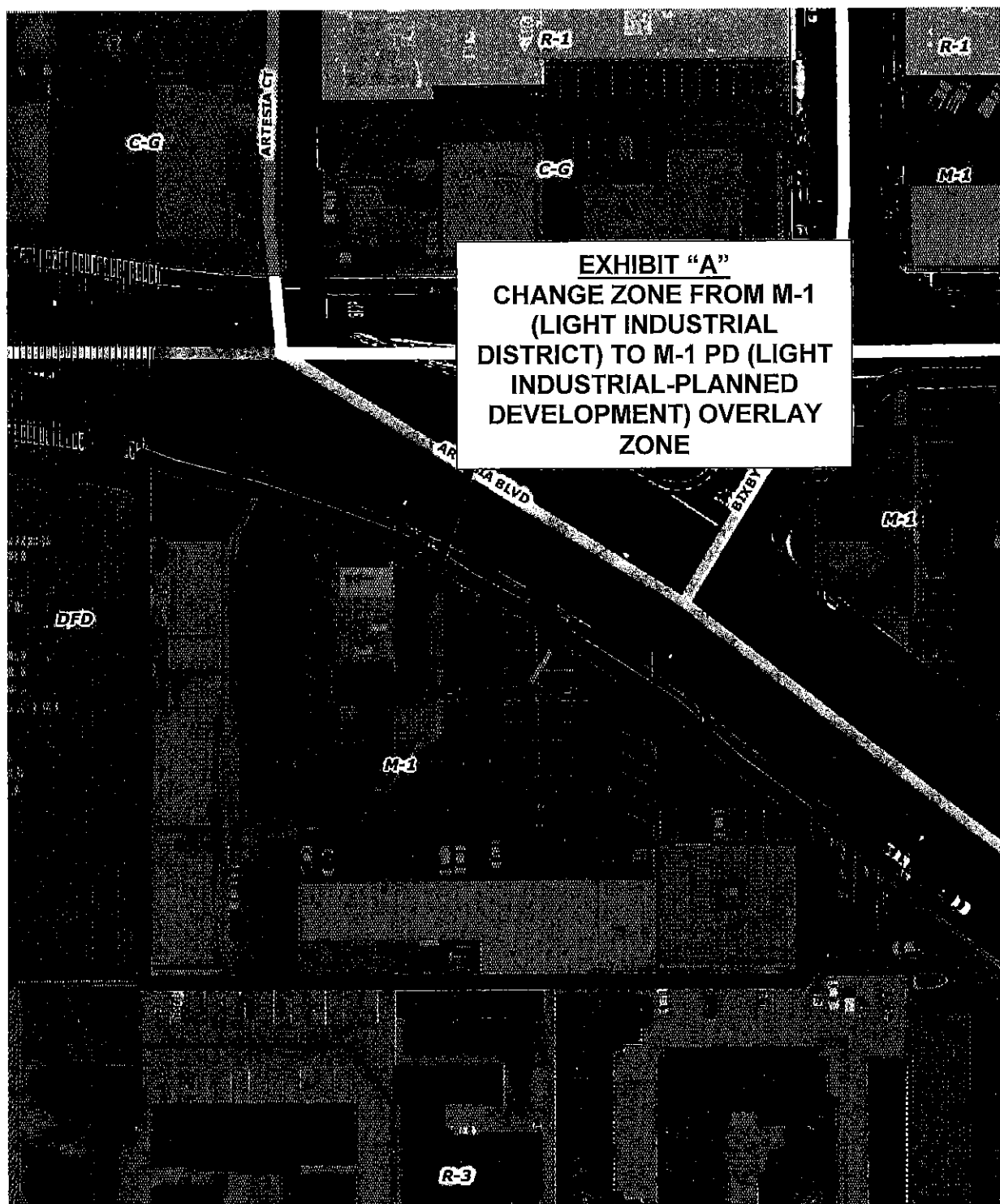


Exhibit B

PRECISE PLAN CASE NO. PP 17-02, DEVELOPMENT REVIEW CASE NO. DR 9-17-8380 AND TENTATIVE MAP NO. TT 71798, FOR M-1 PD (LIGHT INDUSTRIAL-PLANNED DEVELOPMENT) OVERLAY ZONE

Standard Conditions of Approval

1. The subject property must be developed and/or used in the manner requested and must be in substantial conformity with the submitted plans date-stamped December 21, 2017 unless revisions and/or additional conditions are contained herein.
2. This approval will lapse and become void if the privilege authorized is not utilized within one (1) year from the date of this approval.
3. The Applicant/Property Owner(s) must submit to the Planning Division an Affidavit in Agreement and Support thereof acknowledging acceptance of the conditions of approval within thirty (30) days from the date of approval by the Planning Commission. The Affidavit in Support form must be signed, notarized, and returned to the Planning Division prior to any plan check submittal or construction permit application.
4. The Applicant/Property Owner(s) and its successors in interest must indemnify, protect, defend (with legal counsel reasonably acceptable to the City), and hold harmless, the City, and any agency or instrumentality thereof, and its elected and appointed officials, officers, employees, and agents from and against any and all liabilities, claims, actions, causes of action, proceedings, suits, damages, judgments, liens, levies, costs, and expenses of whatever nature, including reasonable attorney's fees and disbursements (collectively "Claims") arising out of or in any way relating to this project, any discretionary approvals granted by the City related to the development of the project or the environmental review conducted under California Environmental Quality Act, Public Resources Code Section 21000 et seq., for the project. If the City Attorney is required to enforce any conditions of approval, then all costs, including reasonable attorney's fees, must be paid for by the Applicant/Property Owner(s).
5. Anything which is not shown on application/plans, or which is not specifically reviewed, or which is not in compliance with this section, is not being recommended for approval. Any application and/or plans which are defective as to, but not limited to, omissions, dimensions, scale, use, colors, materials, encroachments, easements, etc., must render any entitlements granted by this section null and void. Construction (if any) must cease until all requirements of this section are complied with. Development entitlements may be withheld until Code violations are abated.

6. The Applicant/Property Owner(s) must comply with all federal, state, and local laws. A material violation of any of those laws in connection with the use of the subject property will be cause for revocation of this permit.
7. The Applicant/Property Owner(s) must submit to the Planning Division a revised plan showing all required improvements for review and approval.
8. The conditions of approval for the proposed project must be part of the title/deed restriction or maintenance covenant applicable to each lot with the project.
9. All conditions of approval must be met prior to occupancy of the subject site.
10. The proposed project is subject to the Art in Public Places ordinance, which requires the contribution of 1% of the total valuation of the project towards the Public Art Fund, or an art to be placed on-site, subject to review and approval by the City.
11. The property owner must submit a signed letter relinquishing Variance Case No. V 11-05 and Resolution No. PC 11-31 prior to permit issuance.
12. The project must comply with the City of Bellflower Climate Action Plan by integrating the City's Climate-Ready Development Standards selected by the Applicant/Property Owner(s).
13. Prior to obtaining construction permits, the Applicant/Property Owner(s) would be subject to the City's Park Fees (or approved Land Dedication) and Public Facilities Fees.
14. Prior to obtaining construction permits, the Applicant/Property Owner(s) must pay all applicable school fees.
15. A Mitigated Negative Declaration was prepared for the proposed project. If the Department of Fish and Wildlife determines that the project has an effect, a fee of \$ 2,280.75 must be paid to the county.
16. The approval of Precise Plan Case No. PP 17-02 and Development Review Case No. DR 9-17-8380 is contingent on the approval of Zone Change Case No. ZC 17-03 and Tentative Map No. TT 77198.
17. The Applicant/Property Owner(s) must provide a sheet on the construction plans with the City of Bellflower signed resolution stating the conditions of approval as adopted by the City Council. This information must be incorporated into the plans prior to issuance of a construction permit.
18. Since the valuation of the proposed project exceeds \$150,000, a Construction and Demolition (C&D) Waste Management Plan needs to be completed by the

Applicant/Property Owner(s) and approved by the Public Works Division prior to the issuance of a construction permit and the Applicant/Property Owner(s) will be required to submit a performance security in the amount of three percent (3%) of the total project cost.

19. All concrete and asphalt demolition debris from the site must be recycled.
20. Exterior construction activities (grading, framing, etc.) is restricted to 7:00 a.m. to 6:00 p.m., Monday through Friday, and 8 a.m. to 6 p.m. on Saturdays, except that interior building construction activities must not be limited.
21. All construction equipment must be properly muffled to reduce noise levels. Transportation of equipment and materials and operation of heavy grading equipment must also be limited to the hours of 7:00 a.m. to 6:00 p.m., Monday through Friday and 8 a.m. to 6 p.m. on Saturdays. All equipment staging areas must be sited on the subject property.
22. Dust generated by construction activities must be reduced by watering the soil prior to and during grading activities. Reclaimed water must be used whenever possible. Dirt must not be hosed into the storm drain system.
23. All improvements to the subject site must be in compliance with all City Ordinances and must conform to all requirements of the California Building Code as adopted by the City.
24. Trash service must be provided in an appropriate manner subject to review and approval by the Planning Director and the City's franchise trash collector (CR&R as of the date of this Resolution). CR&R will be providing disposal pick-up service on-site. Each home will be provided with the following minimum barrels for their disposal need:
 - (a) One gallon black barrel for trash,
 - (b) One gallon blue barrel for recyclable waste.
25. The project must comply with all applicable erosion control, fugitive dust, and best management practice/NPDES standards.
26. The Applicant/Property Owner(s) must integrate Best Management Practices as shown on the site plan to ensure compliance with NPDES guidelines to the satisfaction of the Director of Planning Department, or his/her designee, prior to the finalization of construction permits.
27. The Applicant/Property Owner(s) must record a maintenance covenant for Standard Urban Stormwater Mitigation Plan and other Municipal NPDES Development Planning Requirements to the satisfaction of the Director of

Planning Department, or his/her designee, prior to finalization of construction permits.

28. The Applicant/Property Owner(s) must submit an erosion control plan as part of the grading plan and permit approval process.
29. The proposed project must provide proper drainage and must conform to all applicable City land use provisions, City Stormwater regulations, the NPDES provisions and the Permit. The project must comply with Best Management Practices to ensure compliance with all stormwater provision.
30. The proposed project must comply with Federal Clean Water Act, the State's water code, and the City's runoff control ordinance.
31. The site entrances must be swept to ensure that dirt does not enter the storm drain system.

Special Conditions of Approval

32. The mixed use component includes the following:
 - a. Building 1 (Building 100): Proposes an attached one-unit, mixed-use, two-story (34'-0" tall) building comprised of approximately 2,136 square feet of ground floor space and 1,990 square feet of second floor space for a total of 4,126 square feet. The ground floor will include 1,603 square feet of commercial retail or office space adjacent Artesia Boulevard, one, 2-car garage on the rear side and a front door to access the second floor living space. The residential unit measures approximately 2,123 square feet in gross floor area. Building 1 is adjacent Artesia Boulevard. The commercial space is an open floor plan with a restroom. The commercial space does not have any internal connection to the residential unit above.
33. The residential component includes the following:
 - a. Building 2 (Building 400): Includes an attached ten-unit, three-story (38'-0" tall) residential building, comprised of 7,613 square feet of ground floor space; 7,832 square feet of second floor space; and 7,263 square feet of third floor space for a total of 22,708 square feet. Units measure between 1,542 square feet and 1,869 square feet. One unit is ADA compliant.
 - b. Building 3 (Building 201): Includes a five-unit, three-story (38'-0" tall) residential building, comprised of 4,035 SF of ground floor space; 4,028 SF of second floor space; and 3,711 SF of third floor space for a total of 11,774 SF. Units measure between 1,717 SF and 1,787 SF. The front of each unit will face the rear property. One unit is ADA compliant.

- c. Building 4 (Building 300): Includes an eight-unit, three-story (38'-0" tall) residential building, comprised of 6,460 SF of ground floor space; 6,487 SF of second floor space; and 5,979 SF of third floor space for a total of 18,926 SF. Units will measure between 1,717 SF and 1,787 SF. The front of each unit will face the rear property line. One unit is ADA compliant.
- d. Building 5 (Building 200): Includes a five-unit, three-story (38'-0" tall) residential building, comprised of 4,033 SF of ground floor space; 4,030 SF of second floor space; and 3,714 SF of third floor space for a total of 11,777 SF. Units will measure between 1,717 SF and 1,787 SF. The front of each unit will face Artesia Blvd. One unit is ADA compliant.
- e. Floor Plans: Includes 3 plan types (Plans 1 through 3). Plan 1 units which is the attached one unit, mixed used building, includes an entry and a garage on the first floor (behind the commercial space) and two bedrooms, office, kitchen, dining room, living room, laundry room and two bathrooms on the second floor. Plans 2 and 3 units, which are all the other units, proposes a maximum of 3 bedrooms with the following layout options:
 - Option 1: An entry, ADA bedroom, full bathroom, and garage on the first floor, a dining room, kitchen, living room, laundry room, tech room, and powder room on the second floor and 2 bedrooms and 2 full bathrooms on the third floor.
 - Option 2: An entry, 1 bedroom, full bathroom, and garage on the first floor, a dining room, kitchen, living room, laundry room, tech room, and powder room on the second floor and 2 bedrooms, 1 bonus room/den without a closet and 2 full bathrooms on the third floor.
 - Option 3: An entry, den, with/without powder room, and garage on the first floor, a dining room, kitchen, living room, laundry room, tech room, and powder room on the second floor and 3 bedrooms and 2 full bathrooms on the third floor.
- f. 75 total parking spaces. Each unit includes an attached, 400 (+) square-foot, two-car garage (58 parking spaces). 17 additional parking spaces will be provided along the interior of the lot to be shared between the commercial and residential development and for guest/visitors and one space is for ADA compliant.

Allowable commercial business uses must comply with the permitted or conditionally permitted uses listed under the C-G zone.

34. All temporary uses and activities are subject to the provisions and temporary use permits requirements of BMC Chapter 17.76 (Temporary Uses).

35. The project site is subject to the following development standards:

Mixed Use and Residential Condominium Development Standards Table			
	Development Criteria	Development Standard	Special Provisions and Comments
A.	Lot Area Standards.		
	<ul style="list-style-type: none"> The Minimum Lot Area Required to Develop on Any Lot or Parcel 	66,516 s.f. /1.527 acres	
B.	Commercial S.F. and Dwelling Units		
	<ul style="list-style-type: none"> Minimum and Maximum Commercial Square Footage 	1,603 s.f.	
	<ul style="list-style-type: none"> Maximum Dwelling Units 	29 units	
C.	Minimum Required Yard Standards.		
	<ul style="list-style-type: none"> Front Yard Setback for site (North Property Line) 	2.7' west and 5.3 east (minimum)	Exhibit 2 illustrates the required setback
	<ul style="list-style-type: none"> Side Yard Setbacks for site (East and West Property Lines) 	5.2' (minimum)	Exhibit 2 illustrates the required setback
	<ul style="list-style-type: none"> Rear Yard Setback for site (South Property Line) 	8.4' (minimum)	Exhibit 2 illustrates the required setback
D.	Maximum Building Heights/Allowable Stories.		
	<ul style="list-style-type: none"> Building 1: Buildings 2 to 5: 	2 stories or 34'-0" 3 stories or 38'-0" 3 stories or 38'-0"	Non-habitable, projections exceeding the building height for all buildings are allowed if architecturally integrated into the building design.
E.	Minimum Building Separation.		
	<ul style="list-style-type: none"> Minimum Building Separation of Residential Building Groupings 	25 and 28 feet	See approved plan for details.
	<ul style="list-style-type: none"> Minimum Building Separation Between Residential Building Groupings and Mixed Use Buildings 	28 feet	
F.	Minimum On-Site Parking.		
	<ul style="list-style-type: none"> Commercial Uses 	Min. of 1 parking space for every 300	Parking may be used as "shared parking spaces"

Mixed Use and Residential Condominium Development Standards Table			
	Development Criteria	Development Standard	Special Provisions and Comments
		square feet of floor area designated to the commercial component of the mixed use building, with a minimum parking stall dimension of 9' in length x 20' in width	upon approval of the City Council. Shared guest spaces may be limited for residential use only after 5:00 p.m. Appropriate signage must be provided.
	• Residential Uses	Min. of 2 enclosed spaces per unit with a minimum interior dimension of 20' in length x 20' in width	Each residential unit must have a minimum of 2 enclosed, on-site spaces per unit. Parking spaces must be arranged in a side-by-side design.
	• Residential Guest Parking	One-half (1/2) guest parking space per residential unit with a minimum dimension of 9' in length x 20' in width.	Residential guest parking spaces may be provided in the following ways: 1) Residential guest spaces may be provided throughout the residential portion and designated for guest use only. 2) A portion of the required residential guest parking spaces may be "shared" with the parking spaces located below the mixed use building provided for the commercial uses upon approval of the City Council. 3) Shared guest spaces may be limited for commercial use only during the hours of 9:00

Mixed Use and Residential Condominium Development Standards Table			
	Development Criteria	Development Standard	Special Provisions and Comments
			a.m. to 5:00 p.m. Appropriate signage must be provided.
	<ul style="list-style-type: none"> Additional Residential Parking 	Three-quarters (.75) parking space must be provided as follows: 1) for each bedroom after the first two bedrooms for building 1 and 2) for each bedroom after the first three (3) bedrooms for buildings 2-5 with a minimum dimension of 9' in length x 20' in width	
G.	Minimum Driveways Widths and Circulation		
	<ul style="list-style-type: none"> Commercial 	25 feet wide	
	<ul style="list-style-type: none"> Residential 	25 to 28 feet wide	See approved plan for details.
I.	Fence and Wall Standards.		
	<ul style="list-style-type: none"> Front Fence/Walls (along north property Line) 	No fence required. If a solid fence/wall is proposed, a maximum 42" high decorative spilt face solid or transparent fence/wall must be provided. All proposed columns must include a decorative cap not exceeding 42" high. A fence/wall higher than 42" may be subject to BMC subsection 17.76.060(F).	Any fence/wall higher than 42" must provide adequate line of sight for vehicle and pedestrian traffic subject to the review and approval of the City Engineer.
	<ul style="list-style-type: none"> Side and Rear Fence/Walls 	6' high decorative	The total wall height with

Mixed Use and Residential Condominium Development Standards Table			
	Development Criteria	Development Standard	Special Provisions and Comments
	(along south, east and west property lines)	split face block wall with decorative cap.	decorative cap cannot exceed 8 feet in height.
	<ul style="list-style-type: none"> Interior Fence/Walls (residential patio areas) 	Residential: Low wall/fence enclosing patio area.	Patio yard walls/fences attached to buildings 3, 4 and 5 cannot exceed 4 feet in height.
	<ul style="list-style-type: none"> Fence /Wall Approval 		A fence/wall plan must be submitted and approved by the Director of Planning and/or his/her designee. No chain-link fences are allowed. The wall height along the sides and rear property lines must be minimum 6 to maximum 8 feet and match with Bellflower 3 development to the west.
J.	Landscaping.		
	<ul style="list-style-type: none"> Commercial Parking Area 	Min. 5% of the parking area	Landscape plan must be submitted and approved by the Director of Planning and/or his/her designee. Landscaping along the Artesia Boulevard street front must provide pedestrian appeal. Potted plants may be used.
	<ul style="list-style-type: none"> Residential Area 	Min. 1 24-inch-to-48-inch box tree per unit and 5, 5-gallon plants per one thousand (1,000) square feet of floor area per unit.	Landscape plan must be submitted and approved by the Director of Planning and/or his/her designee.
	<ul style="list-style-type: none"> Common Areas 		Furniture in private landscape areas may be allowed pursuant to landscape plan approved

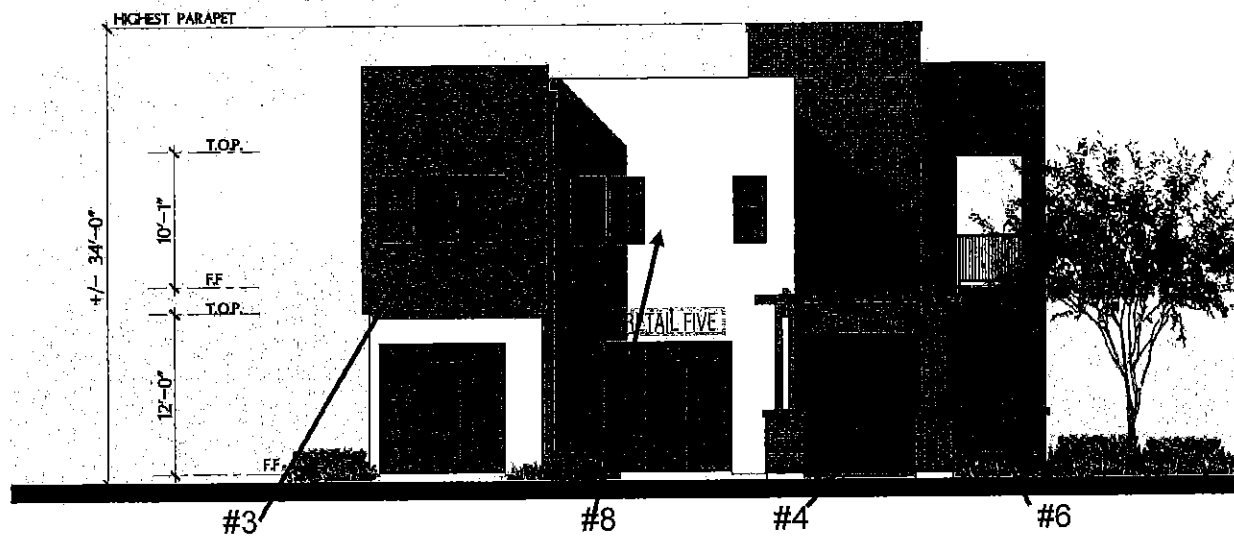
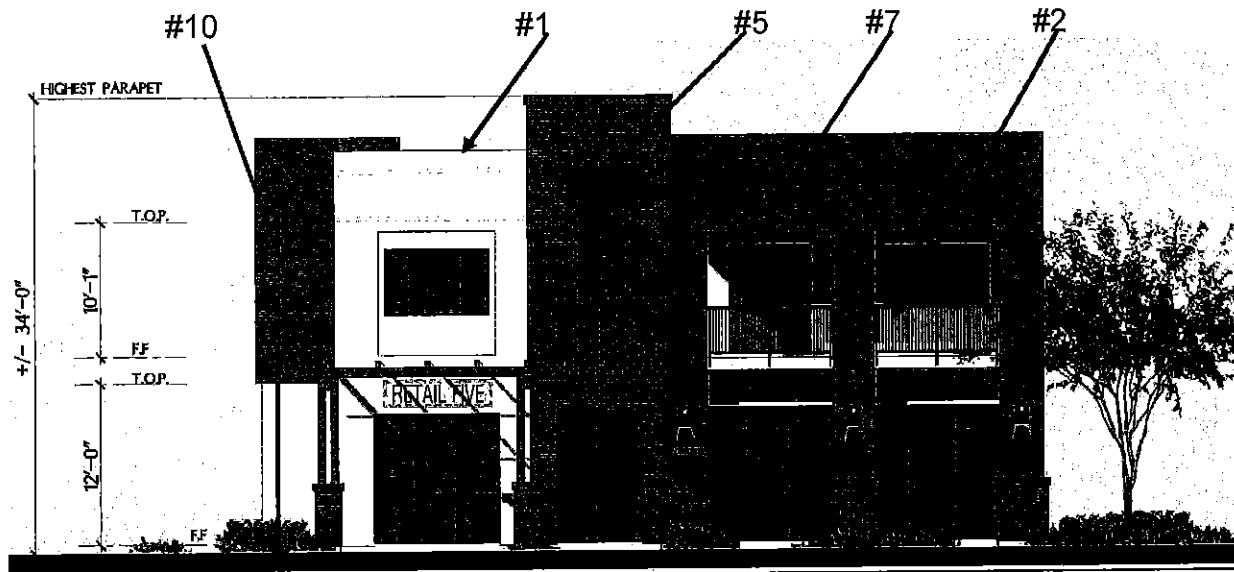
Mixed Use and Residential Condominium Development Standards Table			
	Development Criteria	Development Standard	Special Provisions and Comments
			by the Director of Planning and/or his/her designee.
	<ul style="list-style-type: none"> Landscape Height 	Landscape improvements located within the first 20-feet of the site must not exceed 42" in height as measured from the paved driveway surface to ensure safe vehicular sight distance.	
K.	Lighting Standards.		
	<ul style="list-style-type: none"> Parking Areas 	Any open parking area not lighted by street lights must be lighted with fixtures that provide illumination of the parking area only.	Decorative bases must be used for any light pole standards. Lighting fixture design must be consistent with the architectural theme of the project.
	<ul style="list-style-type: none"> Driveway and Entrances 	The driveway entrance must be lighted with fixtures that provide adequate illumination of the driveway entrance. All common driveways must be lighted.	
	<ul style="list-style-type: none"> Common Walkways 	All common walkways must be lighted. All walkway ramps and steps must be lighted.	
	<ul style="list-style-type: none"> Shielding 	All outdoor lighting and lighting fixtures must be located and shielded so as to prevent the spill of light onto residential lots.	A 0-foot candle must be provided along all property lines that abut residential buildings.

Mixed Use and Residential Condominium Development Standards Table			
	Development Criteria	Development Standard	Special Provisions and Comments
L.	Mechanical Equipment.	The provisions of the BMC 17.44.100 apply to the commercial component and BMC 17.32.170 applies to the residential component.	Decorative screening must be provided in cases where the equipment is visible. A noise study must be provided to examine decibel levels to residential windows and openings.
M.	Trash Service.		
	<ul style="list-style-type: none"> Enclosure and Design 	Where commercial or shared trash bins are required, the provisions of the BMC 17.44.130 Applies.	Trash service must be provided in a manner approved by the City's trash collector.
	<ul style="list-style-type: none"> Individual receptacles for each residential unit 	Trash receptacles must be placed inside each garage when not in use.	See approved plan for details.
	<ul style="list-style-type: none"> Access 	Adequate vehicular access to and from such trash area must be provided. Trash area enclosures must be maintained in a closed manner at all times to prohibit unauthorized access and to prevent visibility from public rights-of-way or adjacent property.	

36. All structures must have minimum "four-sided" architecture treatment/elements. The residential buildings must match with the commercial elevations and include brick/stone veneer. Additional metal awnings or cable trellis must be provided along the following buildings and elevations: (Building 3 (201) on west elevation), (Building 2 (400) on west elevation), and (Building 1 (100) on east and west elevations). All modifications to the elevations must be approved by the Director of Planning or his/her designee. The architectural elements are as follows:

Architectural Elements

1. Flat roof with Parapet	2. Metal Railing	3. Fiber Cement Siding	4. Entryways	5. Decorative Metal Awning
6. Brick Veneer	7. Balconies/Decks	8. Smooth painted Stucco	9. Cable Trellis (not shown)	10. Wood Trellis



Mixed Use Street View

37. The project must incorporate a "Green Building Design" for the residential homes and mixed use buildings. The development will be designed as all-electric, no-gas homes that run on advance solar power. Energy efficient appliances and materials are used in the interior and exterior of the buildings. The commercial building will be designed to accommodate gas. The following elements will be used as energy efficient methods: Solar Panels, high efficiency lighting, hybrid electric water heater, dual glazed windows with ultraviolet coating, low flow toilets, faucets, and showerheads, pre-wiring for electric vehicle charger, high solar roofing materials, lumbar saving beam and header, and roof and floor truss systems and maximized wall insulation.
38. A master landscape, hardscape and irrigation plan must be submitted and approved by the Director of Planning and/or by his/her designee. The master landscape, hardscape and irrigation plan must show the type, quantity, location, and size of all plants and irrigation equipment. Plants must be selected appropriately based upon their adaptability to the climatic, geologic, and topographical conditions of the site and the type must be approved prior to obtaining a construction permit. Landscaping must be provided along the perimeter of the property. Where possible, existing mature trees on the property must remain and be adequately maintained. Where landscaping is provided along the street edge, up-lighting should be incorporated to enhance the street view of the project. Varying plant and tree species must be incorporated to provide visual interest throughout the development and drought tolerant plants must be provided. The landscape parking lot planters must be constructed pursuant to BMC chapter 17.44. Enhanced streetscape treatment along Artesia Boulevard must be provided in order to achieve an attractive and creative street edge appearance along those portions of the public street that the project abuts. The City of Bellflower's Street Tree Master Plan applies as appropriate. Additional landscaping must be placed at the front of the store fronts in the form of planters or landscaped areas. Additional landscaping where applicable must be placed along the side of buildings 1-5.
39. The Applicant/Property(s) must demonstrate the project complies with the State Water Efficiency Model Ordinance prior to construction permit issuance.
40. Minor Amendments encompass minor and reasonable deviations or alterations to project plans. The Director of Planning may consider and approve the following Minor Amendments:
 - i. A Minor Amendment to approved plans that do not create a noticeable difference in the exterior of the building design. Such minor alterations would not include the elimination of approved building materials.
 - ii. A Minor Amendment to the site plan where it can be demonstrated that such modifications will not substantially alter the locations of structures and

uses and will not result in alteration of any plan features such as plaza areas, number of parking spaces, and/or similar items.

41. Major Amendments: Projects that deviate from those standards and requirements contained in this Precise Plan that are not considered Minor Amendments, require a Major Amendment. Any Major Amendment requires Planning Commission recommendation and City Council approval.
42. To ensure all common areas (i.e., driveway, hardscape, landscape, etc.) are properly maintained, a Homeowners' Association (HOA) and Covenants, Conditions and Restrictions (CC&R's) is required for the proposed project, to the satisfaction of the City and in compliance with State Law. The developer(s) will hire a management company. During sales of the units, the sales managers will sit on the HOA board. The developer(s) will remove themselves from the HOA board only when 1) a new HOA board is selected from the new home owners, 2) the new home owners are trained on how to run the HOA and 3) the units are fully occupied. The Documents related to the HOA and CC&R's must be reviewed and approved by the City Attorney prior to recordation of the Final Map. In addition, the Applicant/Property Owner(s) must pay for all attorney fees associated with the review of the document.
43. The CC&R's for the project must be recorded prior to issuance of Certificate of Occupancy.
44. Guest parking spaces must measure 9' by 20' except when adjacent to wall or other physical obstructions spaces must measure 10' by 20' or 10' by 22' where required. The guest parking spaces must not be obstructed by landscaping.
45. All pedestrian access paths must be shown and dimensioned.
46. The Applicant/Property Owner(s) must comply with the Climate Action Plan per the MND and achieve the minimum required 16 points out of the 21 target points.
47. The Applicant/Property Owner(s) must implement and comply with the mitigation measures identified in the "Mitigation and Monitoring Report" for the project for MND 17-03.
48. The units in building 1 (mixed use component) is limited to 2 bedrooms. The units in buildings 2-5 are limited to 3 bedrooms. If additional bedrooms are added then additional parking spaces must be provided on site to accommodate additional bedrooms for each unit at a rate of .75 spaces per additional bedroom. All other rooms cannot be converted to bedrooms. Other additions including enlarging bedrooms or other areas of a home may be processed for a planning approval and a construction permit through the City's Development Review process and may require the Planning Commission to review the project through

a public hearing. The final approved floor plan for these units will be incorporated into CC&R's.

49. The building elevations must include illuminated addresses along the front of each unit, along the rear (i.e. garage side) of each unit, along the top of each building visible for emergency vehicles (i.e. Fire Department), along the top of the residential units adjacent Artesia Boulevard and along the front of each commercial tenant space. The plans must be redesigned prior to submitting for building plan check.
50. A Master Sign Plan must be submitted for review and approval prior to installation of signs. All signs (i.e. wall signs, signage wall, address signs, parking signs, etc.) within the development must be included on the Master Sign Plan. The Master Sign Plan must include Design, Height, Materials, Color, Type, Style, Illumination, Maintenance, etc. of Signs. The display of real estate, for lease, and political signs and temporary Signs and Banners are subject to the provisions of the Bellflower Municipal Code Chapter 17.68. No sign can be installed on the development that is not in compliance with a Master Sign Plan. The Director of Planning and/or his/her designee must approve the Master Sign Plan and any Sign Permit request. Submit the Master Sign Plan for review prior to submitting for building plan check.
51. A site map displaying the site layout must be installed on the site. The site map must be submitted for review prior to installation and include dimensioned elevations; the site map cannot exceed 6 feet in height and must be placed near the front driveway entrance at least 10-feet from the north property line in a place accessible for pedestrians, vehicles and emergency personnel. The plans must be redesigned prior to submitting for building plan check.
52. The Applicant/Property Owner(s) must obtain a demolition permit and obtain the neighbor's consent and approval in writing prior to conducting any work (i.e., demolition and construction) of buildings, walls on, partially or entirely located on any of the adjacent properties.
53. The community areas must include amenities such as barbecue equipment, and tables and benches. No portion of the driveway may be used as a public plaza area. All community areas must include at least 1 decorative trash can and the commercial component in the front must include at least 2 decorative trash cans for pedestrians/customers/employees to utilize. The plans must be redesigned prior to submitting for building plan check.
54. The pedestrian access within the front parking lot leading to the commercial space must be designed on the site and not lead to the public right-of-way. Relocate trees and plants to accommodate the new pedestrian path. The plans

must be redesigned prior to submitting for building plan check to show the new layout.

55. The Applicant must submit a construction phasing plan and traffic control plan prior to construction permit issuance.
56. Garage doors cannot be blocked by vehicles.
57. Curbs along the driveway must be painted red with "no parking" labeled on the curbs.
58. Details must be provided for all water heater installations.
59. All Precise Plan and DR conditions must be addressed prior to the issuance of a construction permit.
60. Prior to construction permit issuance, new addresses for each of the residences must be assigned by the Planning Division.
61. Postal delivery receptacles must be located behind the sidewalk and installed in a manner approved by the United States Post Office.
62. Parking signs must be posted in front of all commercial/visitor/guest parking spaces. For the shared commercial parking spaces, a sign must be posted indicating visitor/guest parking spaces available after 5 p.m. The site plan must identify the commercial vs the residential spaces.
63. The site plan must provide a table of on-site parking pursuant to the Precise Plan.
64. Wheel stops or curbs must be provided at all commercial and guest parking spaces not fronting a garage door.
65. The Applicant/Property Owner must provide, and continuously maintain, lighting within the common area. This condition must be included within the provisions of the CC&R's.
66. All required landscaped areas and irrigation systems must be continuously maintained for the life of the project. This condition must be included within the provisions of the CC&R's.
67. All non-paved or non-decorative stamped areas for parking areas must be surfaced or paved with either asphaltic concrete or concrete to a minimum of three (3) inches in depth, or two (2) inches of premix and four (4) inches of Class

A base, or other surface approved by the City Engineer, and said parking or surfacing must thereafter be maintained in good condition.

68. The project must be designed in conformance with the newly adopted California Building Standards Codes and current Los Angeles County Fire Code with local amendments thereto.
69. Structural calculations and a lateral analysis for each structure must be prepared and submitted for review and approval during the initial submittal of building plans. Structural calculations and structural plans must be prepared under the direction of a California State licensed Civil/Structural Engineer or other appropriately licensed design professional.
70. A grading and drainage plan must be prepared under the direction of a California licensed Civil Engineer or appropriately licensed design professional in accordance with the Bellflower Municipal Code and the current California Building Code with local amendments.
71. Four sets of complete plans and two sets of supporting documents are required at plan check submittal.
72. Commercial Projects must be designed by a California Licensed Design Professional. Plans must be stamped and signed by the California Licensed Design Professional.
73. Certain projects may require approval from LA County Fire Department.
74. Certain projects may require approval from LA County Health Department.
75. Additional comments may occur during the Plan Review Process.
76. The City of Bellflower offers a Self-Certification Program for Plan Review.
77. A soil report with a study of liquefaction potential must be prepared under the direction of a California State licensed Geo-technical Engineer or appropriately licensed design professional in accordance with the Bellflower Municipal Code and current California Building and Residential Codes.
78. All utilities within the subject property must be placed underground prior to building occupancy or sale.
79. Un-sodded, mounded planters adjacent to public sidewalk must be provided with 6" curbs to prevent soil run-off onto the public sidewalk. Curbs are not required if the planter consists of sod.

80. The contractor must meet with the City Inspector before starting any construction within the public right-of-way.
81. The developer, at his/her cost, is responsible for the relocation as necessary of any public or private utility or other obstruction to facilitate the construction within the public right-of-way.
82. The development must comply with the most recent approved Fire Department comments.
83. Private driveways must be indicated on the final map as "Private Driveway and Firelane" with the widths clearly depicted and must be maintained in accordance with the Fire Code.
84. The site plan must show all existing right-of-way improvements.
85. The site plan must provide driveway dimensions at all angle points and any proposed radii.
86. The site plan must show the designated disabled access path from the public right-of-way.
87. The site plan must show and dimension all property lines and any internal lot lines.
88. The site plan must show and dimension all easements.
89. Public works right-of-way improvement checklist dated 9/28/17, must be complied with.
90. All damaged sidewalk must be removed and reconstructed in accordance with City Standards per the Bellflower Municipal Code. New sidewalk must be constructed at the abandoned empty tree well located immediately west of the metro bus stop.
91. For any new sewer connections please contact the Los Angeles County Sanitation District and obtain any connection permits. Documentation of said permits must be submitted to the Building Official prior to the issuance of any building permits. Provide documentation from the District that sufficient sewer capacity is provided.
92. Un-sodded, mounded planters adjacent to public sidewalk must be provided with 6" curbs to prevent soil run-off onto the public sidewalk. Curbs are not required if the planter consists of sod.

93. The contractor must meet with the City Public Works Inspector before starting any construction within the public right-of-way.
94. All work within the public right-of-way, including placing and removal of traffic control devices, is restricted to the hours between 8:30 A.M. and 3:30 P.M., Monday through Friday. No work requiring continuous inspection or traffic control may be done on Saturday, Sunday or Holidays, unless prior arrangements have been made at least one week in advance with the approval of the City Engineer.
95. The developer, at his/her cost, is responsible for the relocation as necessary of any public or private utility or other obstruction to facilitate the construction within the public right-of-way.
96. A shared parking technical memorandum was prepared. The memorandum presents four different scenarios and concludes that sufficient on-site parking is provided by virtue of shared parking for any of the four scenarios. It is noted that shared parking refers to shared land uses on the subject property or possibly the adjacent City Ventures development (Bellflower 3) as well as the proposed development (Bellflower 4).
97. Permits are required for all work within the public right-of-way.
98. The applicant/property owner must comply with stormwater conditions of approval dated 11/1/17 for DR 9-17-8380.

Tentative Map and Final Map Conditions

99. The subject property must be developed and/or used in the manner requested and must be in substantial conformity with the submitted plans date-stamped December 21, 2017, unless revisions and/or additional conditions are contained herein.
100. This approval expires 24 months from the date of approval by the Planning Commission. If the final map is not recorded prior to the expiration date, the subdivider must apply in writing to the City of Bellflower Planning Commission Secretary at least 30 days before the above date for an extension of this approval.
101. The City will grant the extension and any subsequent extensions, provided that it finds good cause for doing so and that such extensions do not exceed an aggregate five (5) years. If the Planning Commission denies the extension, the subdivider may appeal to the City Council within 15 days.
102. The applicant must process a lot tie approved by the City Engineer and/or City

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9958 Artesia Boulevard
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Council to connect Tract Map No. 74043 (Bellflower 3-9908-9922 Artesia Boulevard) and Tract Map No. 77198 (Bellflower 4-9958 Artesia Boulevard) for access purpose. The applicant must also obtain approval from the Fire Department if required.

103. Tract Map No. TT 77198 proposes to subdivide an existing lot for 28 residential condominium units and one unit mixed use unit with 1,603 sf. commercial uses, driveway area and common areas. The development is required to comply with all the development standards in Precise Plan Case No. PP 17-21.
104. A final map is required to be submitted for City Council approval. The tentative map must be approved prior to issuance of construction permit. The final map must be recorded prior to issuance of Certificate of Occupancy.
105. The final map must identify that no building or portion thereof will encroach onto any easements on the property. Alternatively, documentation may be submitted authorizing the encroachment of a building from the easement holder.
106. The approval of the Tentative Map is contingent on the approval of Zone Change Case No. ZC 17-03, Precise Plan Case No. PP 17-02 and Development Review Case No. DR 9-17-8380.
107. All Public Works requirements must be completed prior to final inspection and building occupancy.
108. The Applicant/Property Owner(s) must obtain an encroachment permit (or similar approval) from the Public Works Department for the right-of-way area that is proposed to be landscaped, located north of the proposed "community gathering space.
109. All requirements of this Resolution, the applicable Zone, City Codes, City Departmental policies, rules and regulations and applicable law, policies and regulations of any State, Federal or local agency with jurisdiction thereof must be complied with by the Applicant/Property Owner(s).
110. In accordance with Government Code Section 66474.9(b) and (c), the Applicant/Property Owner(s) must defend, indemnify and hold harmless the City, its agents, officers, and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul, an approval of the City, which action brought within the time period provided for on Government Code Section 66499.37.
111. Prior to issuance of construction permit, the Applicant/Property Owner(s) must submit a letter or document indicating proof that the plans were submitted to and approved by the Fire Department.

112. A preliminary map guarantee must be provided which indicates all trust deeds (to include the name of the trustee), all easement holders, all fee interest holders, and all interest holders whose interest could result in a fee. The account for this title report must remain open until the final map is filed with the Los Angeles County Recorder.
113. All boundary and other survey monuments must be preserved and guaranteed by the Applicant/Property Owner(s) in conformance with the Subdivision Map Act and as required by the City Engineer.
114. A reciprocal ingress/egress access and drainage easement is required and must be made a component of the Map.
115. Proof of Tax clearance must be provided at the time of map review submittal for recordation.
116. Monumentation of tentative map boundaries, street centerlines, and lot boundaries is required if the map is based on a field survey.
117. In accordance with California Government Code Sections 66442 and/or 66450, documentation must be provided indicating the mathematical accuracy and survey analysis of the tentative map and the correctness of all certificates. Proof of ownership and proof of original signatures must also be provided.
118. The second sheet of the building plans is to list all City of Bellflower conditions of approval from each department and/or division. This information must be incorporated into the plans prior to the first submittal for plan check. Conditions are required from the following divisions: Planning, Building, Fire, Police, Public Works and Code Enforcement.
119. Structural calculations prepared under the direction of an architect, civil engineer, or structural engineer must be provided.
120. The Applicant/Property Owner(s) must implement and comply with all of the conclusions and recommendations of the soils report.
121. Should any construction require encroachment onto adjacent properties, a Right of Entry letter signed and dated by the affected property owner must be submitted to the City Building Department prior to the issuance of building permits.
122. All property lines must be shown in standard property line linetype.

123. Where engineered fill is required, compaction tests must not be performed by individual other than the soils engineer of record unless requested by the soils engineer of record and approved by the City of Bellflower Building Division.
124. A grading and drainage plan must be approved prior to issuance of the building permit. The grading and drainage plan must indicate how all storm drainage including contributory drainage from adjacent lots is carried to the public way or drainage structure approved to receive storm water.
125. No property drainage must be allowed to cross sidewalks (parkways) or drive approaches. Yard basins, concrete gutters and under sidewalk (parkway) drains must be constructed to adequately drain the subject property. A drainage plan must be prepared by a Registered Civil Engineer and submitted for approval by the City. Under sidewalk drain must be used. Minimum slope on concrete flow lines must be 0.50%. Minimum slope on asphalt concrete or turf must be 1.0%. Existing elevations of adjacent property and street flow lines must be shown around the perimeter of the proposed development.
126. A sewer connection fee may have to be paid to the Los Angeles County Sanitation Districts, 1955 Workman Mill Road, Whittier, California, 90602. A receipt showing that the payments have been made must be presented to the City Building Department prior to the issuance of any permits. The Applicant/Property Owner(s) must provide documentation from the Sanitation District that sufficient sewer capacity exists to serve the proposed development.
127. Separate utility plans, except for phone and cable, must be prepared indicating the location and method of utility service. Each utility provider must approve the proposed method of service prior to building plan check approval by the City. The building plans will not be issued until the requested plan has been approved by the Building Division.
128. Separate utility connection must include, but not be limited to, separate sewer connection to the sewer main located in the private street, separate water service, separate electric service, separate gas service, separate cable service, and separate telephone service. All underground work must be located in a trench located within the utility easement between the right-of-way and the individual dwelling unit property.
129. A final map prepared by or under the direction of a registered civil engineer or licensed land surveyor must be submitted to and approved by the City of Bellflower prior to being filed with the Los Angeles County Recorder. The final map must be in substantial conformity with the submitted tentative map date-stamped December 21, 2017, unless revisions and/or additional conditions are specifically required herein.

130. Easements must not be granted or recorded within any area proposed to be dedicated, offered for dedication, or granted for use as a public street, alley, highway, right of access, building restriction, or other easements until after the final map is approved by the City of Bellflower and filed with the Los Angeles County Recorder; unless such easement is subordinated to the proposed dedication or grant. If easements are granted after the date of tentative approval, a subordination must be executed by the easement holder prior to the filing of the final map.
131. All conditions from City of Bellflower Departments and Divisions must be incorporated into the map prior to submitting the map for review.
132. The approval of Tentative Map No. TT 77198 will not be effective for any purpose until the Applicant/Property Owner(s) or a duly authorized representative of the Applicant/Property Owner(s) has filed with the Planning Division an Affidavit of Acceptance, thereby accepting all the conditions of this approval, which Affidavit must be filed within 15 days of the date of approval.
133. All easements existing prior to final approval must be shown. If an easement is blanket or indeterminate, a statement to that effect must be shown on the final document.
134. A title report/guarantee showing all fee owners, interest holders and nature of interest must be submitted prior to final approval of the map. Such title report must be submitted no more than 14 days prior to final approvals.
135. The City of Bellflower, the County of Los Angeles, the State of California, and the Government of the United States, and any department, bureau or agency thereof, must have the right of immediate access to all portion of common areas, of the project not assigned for the exclusive use of the owner of a particular unit at all times for the purposes of preserving the public health, safety and welfare except in those instances where a common area is accessible only through a private unit.
136. A permit must be obtained from the City of Bellflower Public Works Department prior to start of any work in the public right-of-way; including, but not limited to, public improvements and utility installations. All work must be done in accordance with established City standards or as directed by the City Engineer.
137. An easement or easements for utility lines must be created.
138. Any existing improvements in the public right-of-way; including, but not limited to, light standards, aprons, sidewalk, curb ramps, curb, and/or gutter which is damaged or made off-grade during construction must be removed and replaced

in accordance with the appropriate City Standard or as directed by the City Engineer.

139. The Applicant/Property Owner(s) must contact the local Water Company to determine the existing fire flow rate in this area. If the existing fire flow capabilities are below the required minimum, the Applicant/Property Owner(s) must provide the necessary means for meeting the fire flow rates required by the Fire Department.
140. All Fire Department requirements for the proposed project specified in the letters dated January 19, 2018 must be complied with.
141. Landscaping in the public right of way must be per the City of Bellflower Master Street Tree Plan.
142. A separate perimeter wall plan must be submitted to show and dimension all existing and proposed perimeter walls/fences. The plan must include typical sections at the rear and side property lines. Sections must show the property line, perimeter wall or fence, said walls location measured from the property line, and wall height as measured from the ground surface on both sides of the wall/fence.
143. The construction or modification of existing drive approaches must be per City Standards with the bottom width, W, per the approved construction plans. All work must be done by a "C-8" or an "A" licensed contractor. "B-1" contractors are not acceptable for this work. Note: Horizontal saw cutting of existing curb is permitted in most instances. Verify with City Inspector.
144. The Applicant / Property Owner(s) must remove and replace existing drive approaches and curb depressions that do not access the development with full height curb, sidewalk or clean topsoil and necessary repaving. A "C- 8" or an "A" licensed contractor must do all work. "B-1" contractors are not acceptable for this work. Note: Replacement of curb depressions must be accomplished by the removal of the existing curb and gutter and construction of new monolithic curb and gutter.
145. Curb and gutter must be constructed where missing or repaired in accordance with City Standards. Note: Curb and gutter must be monolithic.
146. A sanitary sewer lateral must be constructed to service the property. Minimum lateral size from main to property line is 6". Separate Sewer clean outs must be provided for each unit. Excavation permits with necessary insurance and bonds are required.

147. Un-sodded, mounded planters adjacent to public sidewalk must be provided with 6" curbs to prevent soil run-off onto the public sidewalk. Curbs are not required if the planter consists of sod.
148. The contractor must meet with the City Inspector before starting any construction within the public right-of-way.
149. All work within the public right-of-way, including placing and removal of traffic control devices, must be restricted to the hours between 8:30 A.M. and 3:30 P.M., Monday through Friday. No work requiring continuous inspection or traffic control must be done on Saturday, Sunday or Holidays, unless prior arrangements have been made at least one week in advance with the approval of the City Engineer.
150. The developer, at his/her cost, must be responsible for the relocation as necessary of any public or private utility or other obstruction to facilitate the construction within the public right-of-way.
151. Failure to implement and/or maintain all provisions of these conditions of approval must be grounds for the revocation of said map following a public hearing or the approving body.
152. All proposed improvements shown on the Tentative Map and all conditions established by the Development Review, the Director of Public Works, the Director of Planning, the City Engineer, Building Official, the Bellflower Municipal Code, and life safety issues must be complied with prior to building occupancy.
153. Any existing damaged public right-of-way improvements must be repaired in accordance with Section 5600 et seq of the California Streets and Highways Code and with the Bellflower Municipal Code before occupancy will be granted. (Property owner is responsible for the repair and maintenance of curb/gutter, sidewalk and drive apron).
154. All applicable NPDES requirements must be complied with including those requirements established by the City of Bellflowers storm water compliance consultant.
155. A Final Subdivision Guarantee will be required for the Final Map.
156. The Final Map must:
 - a) Meet all the provisions of the latest Subdivision Map Act relating to tract/parcel maps.
 - b) Give reference to all monuments found or set.

- c) Include traverse calculations of the tract/parcel lots indicating closure within 1:10,000.
 - d) The developer will be required to pay all applicable checking fees with the City prior to the start of map checking.
 - e) Tentative Map improvements established by the City Engineer not completed and accepted at the time of approval of the final map must require the Applicant/Property Owner(s) to enter into an agreement with the City of Bellflower to complete such improvements at the Applicant/Property Owner(s)'s expense and guaranteed by improvement securities.
 - f) Be recorded by the Los Angeles County Recorder.
 - g) The Applicant/Property Owner(s) must provide the City with two (2) duplicate, medium weight mylars and four (4) sets of prints of the recorded map. All existing and/or proposed easements must be shown on the final map.
157. Two inch I.P. monuments (24 inch minimum length) must be set at all lot corners, except where sidewalks are to be constructed or are existing. The surveyor must set Lead and Tack in the sidewalk at these locations.
158. All Development Review (DR Case No. DR 9-178380) conditions of approval must be complied with prior to Certificate of Occupancy.

EXHIBIT 1
Vicinity Ma

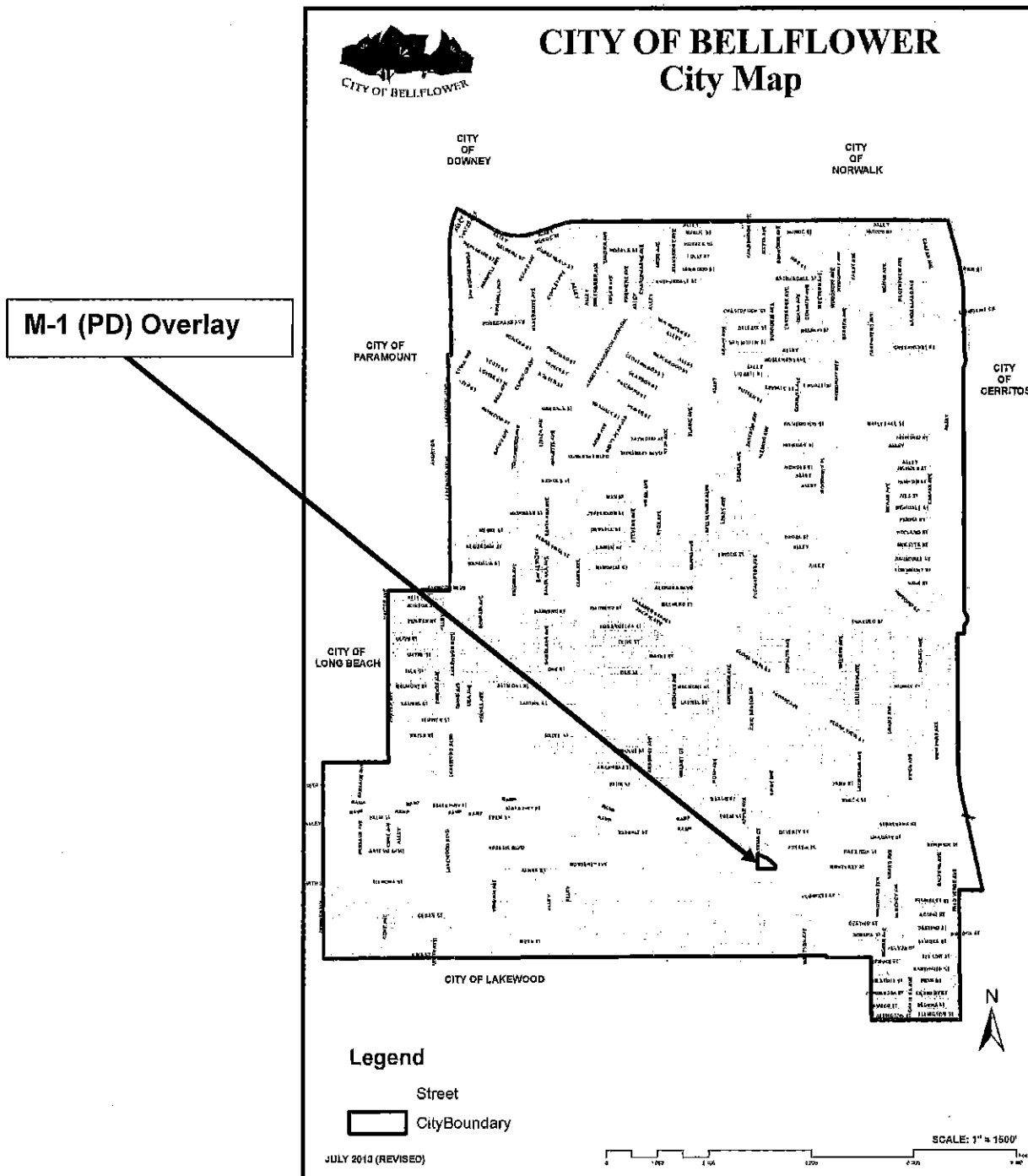


EXHIBIT 2
Boundaries

Boundary Lines



EXHIBIT 3
Setbacks

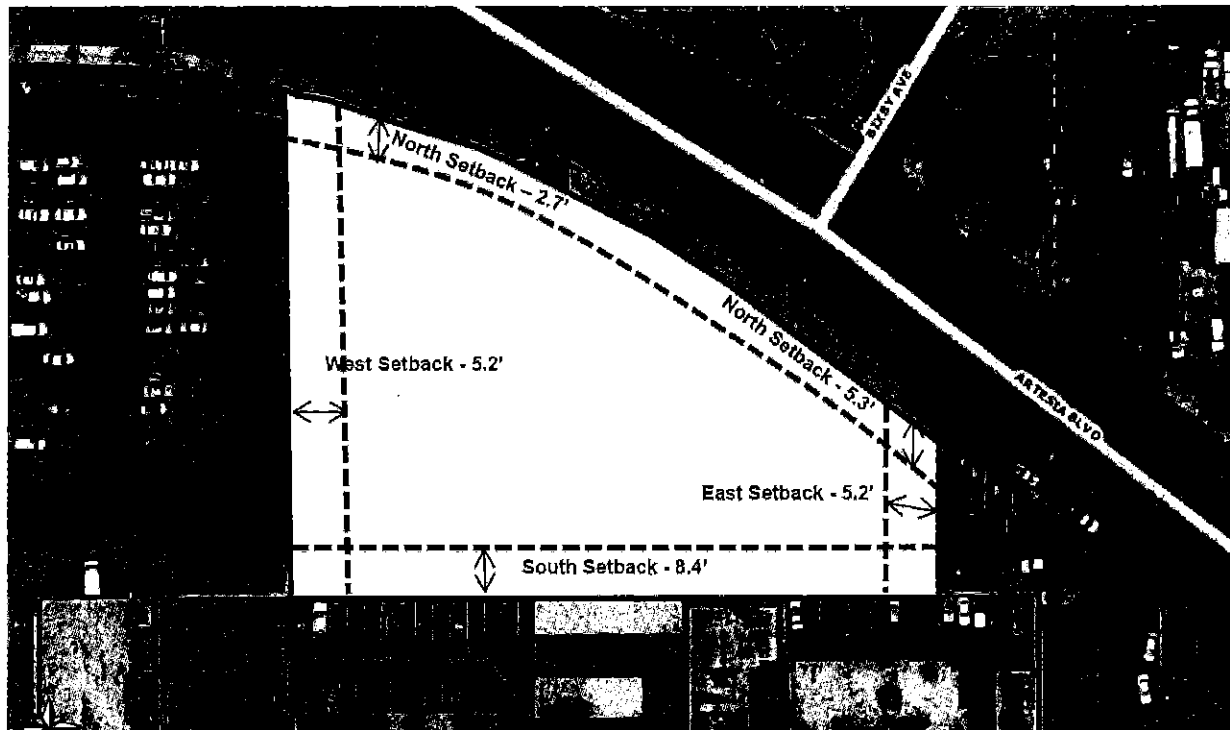
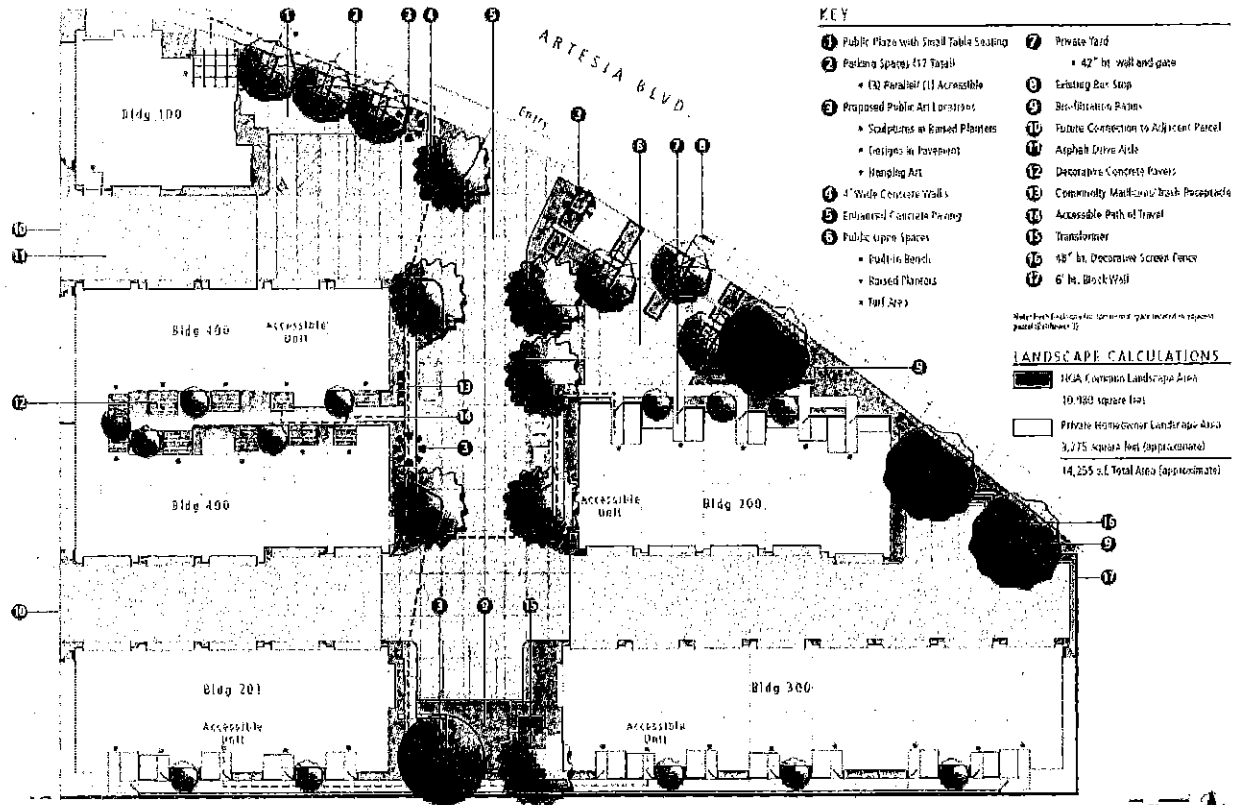


EXHIBIT 4 Landscape

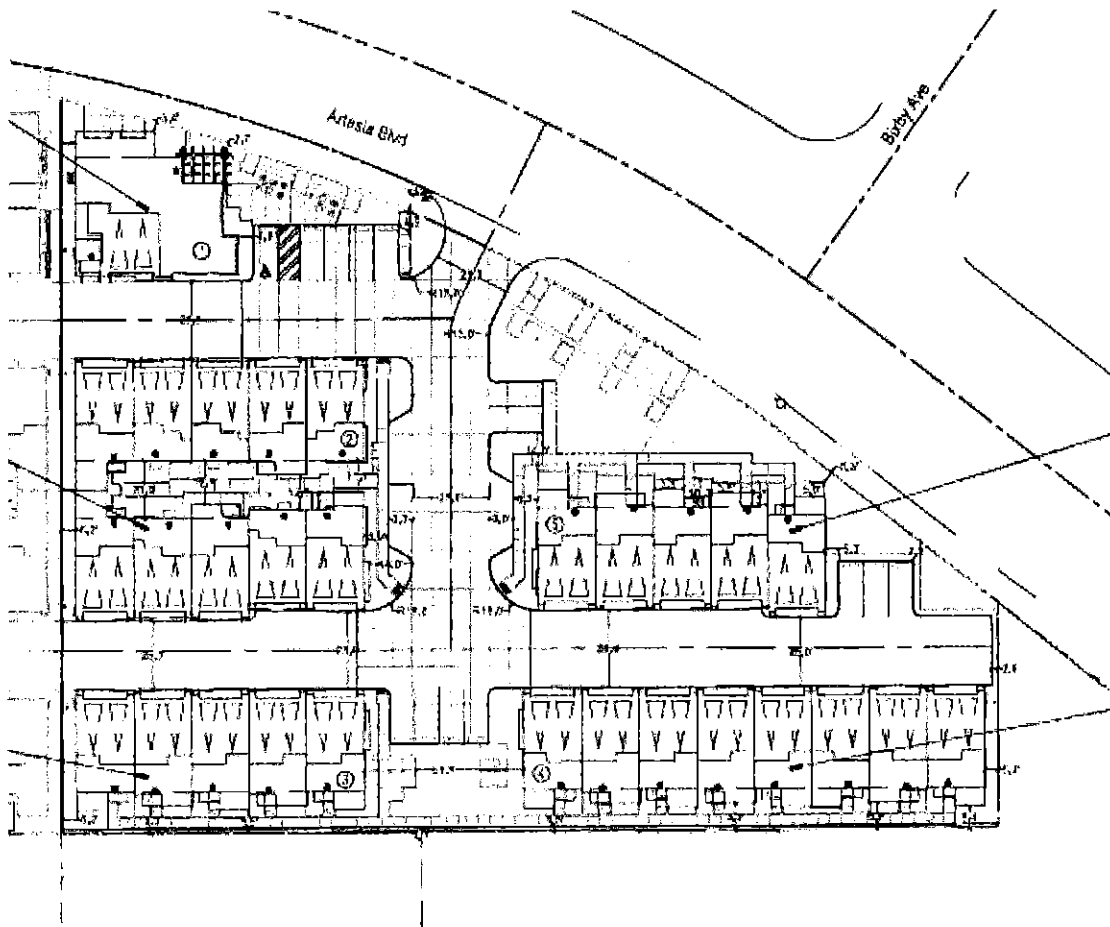


CONCEPTUAL SITE PLAN
BELLFLOWER 4
 9958 ARTESIA BOULEVARD, BELLFLOWER, CA 90706



EXHIBITS 5

Site Plan



Attachment B
**Environmental Documents (Initial Study &
MND 17-03)**

MND (17-03) document and studies are available for review in the Planning Department at Bellflower City Hall 16600 Civic Center Drive, Bellflower, CA 90706 or online at:

<https://www.bellflower.org/civicax/filebank/blobdload.aspx?BlobID=31110>

Attachment C
Responses to Comments / Mitigation and
Monitoring Report

RESPONSES TO COMMENTS DOCUMENT

**INITIAL STUDY AND
MITIGATED NEGATIVE DECLARATION 17-03
FOR THE PROPOSED BELLFLOWER 4 PROJECT
at 9958 ARTESIA BOULEVARD**

Lead Agency:

CITY OF BELLFLOWER
16600 Civic Center Drive
Bellflower, California 90706

February, 2018

I. BACKGROUND

The City of Bellflower prepared an Initial Study and Mitigated Negative Declaration to evaluate environmental impacts resulting with the proposed Bellflower 4 project. The project proposes 29 total attached condominium units within five buildings at a density of 18.99DU/AC. 75 total parking spaces will be provided. The project buildings will be designed with contemporary architectural features and will have flat roofs with parapets, cable trellises, stucco finishes painted with earth-tone colors like charcoal, orange, white and gray, fiber cement siding, vinyl windows, metal railings, wood columns, metal awnings, and garages with metal sectional roll-up doors.

II. PUBLIC REVIEW PROCESS (COMMENT LETTERS AND RESPONSES)

The Initial Study and Mitigated Negative Declaration document (MND) for the proposed project was circulated for a 20-day public review period from January 29, 2018 through February 17, 2018 for review and comment by the public, public agencies, and organizations. A Notice of Intent to Adopt (NOI) was prepared and placed in the Herald American Bellflower Edition and posted at the Registrar-Recorder County Clerk's Office. The City also transmitted by certified mail copies of the Initial Study and Mitigated Negative Declaration document to the following public agencies:

1. Clifton M. Brakensiek Library
2. City of Long Beach
3. City of Norwalk
4. City of Downey
5. City of Paramount
6. City of Lakewood
7. City of Artesia
8. City of Cerritos
9. South Coast Air Quality Management District
10. State of California Native American Heritage Commission
11. Los Angeles Regional Water Quality Control Board, Region 4
12. California Resources Agency
13. Registrar-Recorder / County Clerk
14. Southern California Edison
15. Los Angeles County Department of Public Works
16. Los Angeles County Fire Department
17. Los Angeles County Sanitation Districts (Districts 2, 3, 18)
18. Metropolitan Transportation Authority (MTA)
19. So. Calif. Assoc. of Governments
20. Bellflower Somerset Mutual Water
21. Paramount Unified School District
22. CR&R (Solid Waste)
23. Bellflower Unified School District
24. Los Angeles County Sheriff's Dept., Bellflower Substation
25. St. John Bosco High School
26. Caltrans – State of Calif.; Department of Transportation
27. Southern Calif. Gas Co.
28. Cerritos College
29. Southern California Department of Toxic Substances Control
30. Downey Unified School District
31. Norwalk Transportation
32. Long Beach Public Transp. Co.
33. Greater Los Angeles County Vector Control District

34. Comcast
35. LA County Regional Planning Dept.; Environmental Assessment Section
36. Water Replenishment District of Southern California
37. Crimson Pipeline L.P.
38. Los Angeles County Department of Public Works
39. So Cal Gas Transmission
40. Empire Transportation
41. California Asset Management
42. Gabrielino/Tongva Nation Sandonne Goad
43. Gabrielino Tongva Indians of California Tribal Council
44. Gabrieleno Band of Mission Indians – Kizh Nation
45. Gabrielino Tongva Nation
46. Torres Martinez Desert Cahuilla Indians
47. Gabrielino-Tongva Tribe
48. Gabrieleno/Tongva San Gabriel Band of Mission Indians
49. Soboba Band of Luiseno Indians
50. Gabrielino-Tongva Tribe

Of these agencies, comment letters were received from the following agencies:

- Will Serve Program, Facilities Planning Department Sanitation Districts of Los Angeles County, Ms. Adriana Raza, February 5, 2018.
- Chevron Pipe Line Co.; Mr. Dave Zerler, Contractor; February 12, 2018.
- South Coast Air Quality Management District, Lijin Sun, Program Supervisor, CEQA IGR, Planning, Rule Development & Area Sources, February 15, 2018.

Section IV contains the original comments letters. Those comments in the letter that are considered "significant" (according to Section 15088(c) of the CEQA Guidelines), which are comments that raised appropriate environmental issues will be addressed. Those comments that are outside of the scope of CEQA review will be forwarded for consideration to City decision-makers as part of the approval process for the proposed project.

The responses to those comments received during the public review period are provided in Section V. The responses are intended to be reasoned and factual, with particular emphasis made to significant environmental issues. The City has provided the agency that commented on the Initial Study and Mitigated Negative Declaration document with a copy of the City's responses to their comments at least 10 days before approval of the Initial Study and Mitigated Negative Declaration document (Section 15088(b) of the CEQA Guidelines).

III. CONSIDERATION AND ADOPTION OF THE INITIAL STUDY AND MITIGATED NEGATIVE DECLARATION

According to Section 15074 of the CEQA Guidelines, the City shall "consider the proposed (Mitigated) Negative Declaration...together with any comments received during the public review process. The decision-making body shall adopt the proposed (Mitigated) Negative Declaration...only if it finds on the basis of the whole record before it (including the Initial Study and any comments received), that there is no substantial evidence that the project (Bellflower 4 project) will have a significant effect on the environment and that the (Mitigated) Negative Declaration...reflects the (City's) independent judgment and analysis."

IV. COMMENTS RECEIVED DURING THE PUBLIC REVIEW PERIOD

The following comment letters were received during the 20-day public review period, which have been bracketed to isolate the individual comments, as necessary.

V. RESPONSES TO COMMENTS RECEIVED DURING THE PUBLIC REVIEW PERIOD

The following responds to the comments that were received during the public review period.

Comment Letter 1: Will Serve Program, Facilities Planning Department Sanitation Districts of Los Angeles County, Ms. Adriana Raza, February 5, 2018.

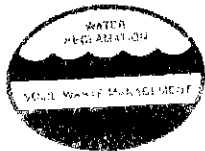
Response to Comment 1-1: The comment indicated the project is located within the jurisdiction boundaries of District No. 2 and confirmed that the information in the MND was current. Further response is not required.

Comment Letter 2: Chevron Pipe Line Co.; Mr. Dave Zerler, Contractor; February 12, 2018.

Response to Comment 2-1: The comment indicated that the Chevron Pipe Line Company did not have any facilities near the project site. The comment also provided the names of other departments if further confirmation was necessary. The applicant will be made aware of this information. Further response is not required.

Comment Letter 3: South Coast Air Quality Management District, Lijin Sun, Program Supervisor, CEQA IGR, Planning, Rule Development & Area Sources, February 15, 2018.

The Air Quality consultant will provide comments at the public hearing meeting on February 20, 2018 to address SCAQMD's statements.



COUNTY SANITATION DISTRICTS OF LOS ANGELES COUNTY

1955 Workman Mill Road, Whittier, CA 90601-1400
Mailing Address: P.O. Box 4998, Whittier, CA 90607-4998
Telephone: (562) 699-7411, FAX: (562) 699-5422
www.lacsd.org

GRACE ROBINSON HYDE
Chief Engineer and General Manager

February 1, 2018

Ref. Doc. No.: 4439189

COMMENT LETTER

Mr. Jason P. Clarke
Acting Planning Manager
City of Bellflower
16600 Civic Center Drive
Bellflower, CA 90706

Dear Mr. Clarke:

NOI Response to the Bellflower 4 Project

The Sanitation Districts of Los Angeles County (Districts) received a Notice of Intent to Adopt a Mitigated Negative Declaration (NOI) for the subject project on January 29, 2018. The proposed project is located within the jurisdictional boundaries of District No. 2. We offer the following comments:

- All information concerning Districts' facilities and sewerage service contained in the document is current.

If you have any questions, please contact the undersigned at (562) 908-4288, extension 2717.

Very truly yours,

Adriana Raza
Customer Service Specialist
Facilities Planning Department

AR:ar

DOC: #4444717.D02



Dave Zerler
Conflict Inquiry Specialist

February 12, 2018

COMMENT LETTER 2

To: Jason Clarke:

Chevron Pipe Line Company has determined that it has no facilities inside the scope of your proposed **Zoning Change Case No. ZC 17-03 affecting Artesia Boulevard and Bixby Avenue, Bellflower**. If you would like further confirmation of this, utilize the USA system and a Chevron inspector will respond.

2-1

Sincerely,

Dave Zerler (Contractor)
Chevron Pipe Line Company

Chevron Pipe Line Co.
2800 Homestead Pl. Rancho Dominguez, CA 90220
Tel 310-669-4014 Fax 310-669-4040
DaveZerler@chevron.com



South Coast Air Quality Management District

21865 Copley Drive, Diamond Bar, CA 91765-4178
(909) 396-2000 • www.aqmd.gov

February 15, 2018

SENT VIA E-MAIL AND USPS:

jclarke@bellflower.org

Jason P. Clarke, Acting Planning Manager

City of Bellflower

16600 Civic Center Drive

Bellflower, CA 90706

Negative Declaration (ND) for the Proposed ZC 17-03, PP 17-02, TT 77198, MND 17-03, and DR 9-17-8380

The South Coast Air Quality Management District (SCAQMD) staff appreciates the opportunity to comment on the above-mentioned document. The following comment is meant as guidance for the Lead Agency and should be incorporated into the Final ND.

SCAQMD Staff's Summary of Project Description

The Lead Agency proposes to subdivide 66,516 square feet for future development of 29 residential units (Proposed Project). Based on a review of Exhibits 1 and 2 in the ND and the aerial photographs, SCAQMD staff found that the Proposed Project is located in proximity to State Route 91 (SR-91).

Mobile Source Health Risk Assessment

Notwithstanding the court rulings, SCAQMD staff recognizes that the Lead Agencies that approve CEQA documents retain the authority to include any additional information they deem relevant to assessing and mitigating the environmental impacts of a project. Because of SCAQMD's concern about the potential public health impacts of siting sensitive populations within close proximity of freeways, SCAQMD staff recommends that, prior to approving a project, the Lead Agency consider the impacts of air pollutants on people who will live and work at the project and provide mitigation where necessary.

Sensitive receptors are people that have an increased sensitivity to air pollution or environmental contaminants. Sensitive receptors include schools, parks and playgrounds, daycare centers, nursing homes, elderly care facilities, hospitals, and residential dwelling units. When specific development is reasonably foreseeable as result of the goals and objectives of the Proposed Project, the Lead Agency should identify any potential adverse health risk impacts using its best efforts and a good-faith effort at full disclosure in the CEQA document.

As described above, SCAQMD staff found that the Proposed Project would site sensitive receptors (e.g., 29 residential dwelling units) adjacent to SR-91 (Post Mile R14.618), which has a maximum daily volume of 271,000 total vehicles, including 20,947 diesel fueled trucks¹. Because of the close proximity to the existing freeway, residences at the Proposed Project would likely be exposed to diesel particulate matter (DPM), which is a toxic air contaminant and a carcinogen. DPM emitted from diesel powered engines (such as trucks) has been classified by the state as a toxic air contaminant and a carcinogen. To facilitate the purpose and goal of CEQA on public disclosure, SCAQMD staff recommends that the Lead

¹ Caltrans 2015 Annual Average Daily Truck Traffic on the California State Highway System. Page 111. Accessed at: http://www.dot.ca.gov/trafficops/census/docs/2015_aadt_truck.pdf.

Agency consider the impacts of air pollutants on people who will live and work at the Proposed Project by performing a HRA² to disclose the potential health risks in the Final ND³.

Guidance Regarding Sensitive Receptors Sited Near a High-Volume Freeway or Other Sources of Air Pollution

SCAQMD staff recognizes that there are many factors that Lead Agencies must consider when making local planning and land use decisions. To facilitate stronger collaboration between Lead Agencies and SCAQMD to reduce community exposure to source-specific and cumulative air pollution impacts, SCAQMD adopted the Guidance Document for Addressing Air Quality Issues in General Plans and Local Planning (Guidance Document) in 2005. The Guidance Document provides suggested policies that local governments can use in their General Plans or through local planning to prevent or reduce potential air pollution impacts and protect public health. SCAQMD staff recommends that the Lead Agency review this Guidance Document as a tool when making local planning and land use decisions. The Guidance Document is available on SCAQMD's website at: <http://www.aqmd.gov/docs/default-source/planning/air-quality-guidance/complete-guidance-document.pdf>. In addition, guidance on siting incompatible land uses (such as placing homes near freeways) can be found in the California Air Resources Board's *Air Quality and Land Use Handbook: A Community Health Perspective*, which can be found at: <http://www.arb.ca.gov/ch/handbook.pdf>. CARB's Land Use Handbook is a general reference guide for evaluating and reducing air pollution impacts associated with new projects that go through the land use decision-making process. Guidance⁴ on strategies to reduce air pollution exposure near high-volume roadways can be found at: https://www.arb.ca.gov/ch/rd_technical_advisory_final.PDF.

Limits to Enhanced Filtration Units

Many strategies are available to reduce exposure, including, but are not limited to, building filtration systems, sound walls, vegetation barriers, etc.⁵ Because of the potential adverse health risks involved with siting sensitive receptors near a freeway, it is essential that any proposed strategy must be carefully evaluated before implementation. In the event that enhanced filtration units are proposed, the Lead Agency should consider the limitations of the enhanced filtration. For example, in a study that SCAQMD conducted to investigate filters⁶, a cost burden is expected to be within the range of \$120 to \$240 per year to replace each filter. In addition, because the filters would not have any effectiveness unless the HVAC system is running, there may be increased energy costs to the resident. It is typically assumed that the filters operate 100 percent of the time while residents are indoors, and the analysis in a CEQA document does not account for the times when the residents have their windows or doors open or are in common space areas of the project. Furthermore, these filters have no ability to filter out any toxic gases from vehicle exhaust. The presumed effectiveness and feasibility of any filtration units should therefore be

² South Coast Air Quality Management District. "Health Risk Assessment Guidance for Analyzing Cancer Risk from Mobile Source Diesel Idling Emissions for CEQA Air Quality Analysis." Accessed at: <http://www.aqmd.gov/home/regulations/ceqa/air-quality-analysis-handbook/mobile-source-toxics-analysis>.

³ SCAQMD has developed the CEQA significance threshold of 10 in one million for cancer risk. When SCAQMD acts as the Lead Agency, SCAQMD staff conducts a HRA, compares the maximum cancer risk to the threshold of 10 in one million to determine the level of significance for health risk impacts, and identifies mitigation measures if the risk is found to be significant.

⁴ In April 2017, CARB published a technical advisory, *Strategies to Reduce Air Pollution Exposure Near High-Volume Roadways: Technical Advisory*, to supplement CARB's Air Quality and Land Use Handbook: A Community Health Perspective. This technical advisory is intended to provide information on strategies to reduce exposures to traffic emissions near high-volume roadways to assist land use planning and decision-making in order to protect public health and promote equity and environmental justice. The technical advisory is available at: <https://www.arb.ca.gov/ch/landuse.htm>.

⁵ California Air Resources Board. April 2017. "Strategies to Reduce Air Pollution Exposure Near High-Volume Roadways". Accessed at <https://www.arb.ca.gov/ch/landuse.htm>. This Technical Advisory is intended to provide information on strategies to reduce exposures to traffic emissions near high-volume roadways to assist land use planning and decision-making in order to protect public health and promote equity and environmental justice.

⁶ This study evaluated filters rated MERV 13+ while the proposed mitigation calls for less effective MERV 12 or better filters. Accessed at: <http://www.aqmd.gov/docs/default-source/ceqa/handbook/aqmdpilotstudyfinalreport.pdf>. Also see the 2012 Peer Review Journal article by SCAQMD: <http://d7.iqair.com/sites/default/files/pdf/Polidori-et-al-2012.pdf>.

evaluated in more detail prior to assuming that they will sufficiently alleviate near roadway exposures to DPM emissions.

Enforceability of Enhanced Filtration Units

If enhanced filtration units are proposed either as a mitigation measure or a project design feature, and to ensure that the enhanced filtration units are enforceable throughout the lifetime of the Proposed Project and that they are effective in reducing exposures to DPM emissions, SCAQMD staff recommends that the Lead Agency provide additional details on future operational and maintenance implementation and monitoring in the Final ND. At a minimum, the Final ND should discuss the responsible implementing and enforcement agency (or entity); recommended schedules for replacing the enhanced filtration units; ongoing monitoring schedules; ongoing cost sharing strategies, if any, for replacing the enhanced filtration units; disclosure on increased energy costs for running the HVAC system to prospective residents; disclosure on potential health risks from living in proximity to freeways; criteria for assessing progress in installing and replacing the enhanced filtration units; and process for evaluating the effectiveness of the enhanced filtration units.

Pursuant to CEQA Guidelines Section 15074, prior to approving the Proposed Project, the Lead Agency shall consider the Final ND for adoption together with any comments received during the public review process. Please provide the SCAQMD with written responses to all comments contained herein prior to the adoption of the Final ND. When responding to issues raised in the comments, response should provide sufficient details giving reasons why specific comments and suggestions are not accepted. There should be good faith, reasoned analysis in response. Conclusory statements unsupported by factual information do not facilitate the purpose and goal of CEQA on public disclosure and are not meaningful or useful to decision makers or to the public who are interested in the Proposed Project.

SCAQMD staff is available to work with the Lead Agency to address any other air quality and health risk questions that may arise. Please contact me at (909) 396-3308, if you have any questions regarding these comments.

Sincerely,

Lijin Sun

Lijin Sun, J.D.

Program Supervisor, CEQA IGR

Planning, Rule Development & Area Sources

LS

LAC180202-07

Control Number

MITIGATION AND MONITORING REPORT
INITIAL STUDY AND MITIGATED NEGATIVE DECLARATION 17-03
BELLFLOWER 3 PROJECT
CITY OF BELLFLOWER
February, 2018

No.	Mitigation Measure	Implementation Action	Monitoring Method	Enforcing Party	Monitoring Phase (Time Frame)	Verification /Approval Party	Mitigation Measure Implemented? (Y/N) & Date	Documentation Location (Monitoring Record/File)
NOISE								
2	Throughout construction activities, the contractor shall ensure the following: <ul style="list-style-type: none"> Restrict grading and construction activities to daily operation between 7:00 AM to 7:00 PM Monday through Friday and 8:00 AM to 5:00 PM on Saturdays. There will be no work on Sundays or Federal holidays. Ensure that all construction and grading equipment will be properly maintained. All vehicles and compressors shall utilize exhaust mufflers, and engine closure covers as designed by the manufacturer in place at all times. 	Periodic site inspections to confirm compliance	Periodic site inspections to confirm compliance	City Planning	Throughout construction activities	City Planning		
3	Prior to issuance of building permit, the building plans shall incorporate the	Plancheck building plans	Plancheck building plans	City Building	Prior to issuance of building permit	City Building		

No.	Mitigation Measure	Implementation Action	Monitoring Method	Enforcing Party	Monitoring Phase (Time Frame)	Verification /Approval Party	Mitigation Measure Implemented? (Y/N) & Date	Documentation Location (Monitoring Record/File)
	<p>following:</p> <ul style="list-style-type: none"> Roof ceiling construction shall be roofing on plywood. Batt insulation will be installed in joist spaces. The ceilings will be one layer of gypboard nailed direct. All exterior walls shall be 2x4 studs 16-in o.c. with batt insulation in the stud spaces. Exteriors will be plaster or stucco. The interiors will be gypboard. All north-facing perimeter windows and glass doors for Building 1, which is closest to Artesia Boulevard will be glazed with STC 29 glazing. STC 29 glazing can be provided with dual pane assembly with a 1/2" airspace. The glazing supplier should submit a test report documenting the STC 29 rating. All entry doors shall be 1-3/4" solid core flush wood doors with vinyl bulb weather-stripping on the sides and top. Ventilation openings in 							

No.	Mitigation Measure	Implementation Action	Monitoring Method	Enforcing Party	Monitoring Phase (Time Frame)	Verification /Approval Party	Mitigation Measure Implemented? (Y/N) & Date	Documentation Location (Monitoring Record/File)
	the exterior walls or roof/ceilings shall not be allowed without approved acoustical baffles.							
TRANSPORTATION AND TRAFFIC								
4	Prior to approval of Final Map 77198, the applicant's engineer of record must confirm that sufficient sight distance is provided for the project driveway along Artesia Boulevard.	Planchek Final Map 77198 to confirm sufficient sight distance is provided.	Planchek Final Map 77198 to confirm sufficient sight distance is provided.	City Public Works	Prior to approval of Final Map 77198	City Public Works		

Attachment D
DR Letter Case No. DR 9-17-8380

The City of Bellflower

Families. Businesses. Futures.

16600 Civic Center Drive, Bellflower, CA 90706

Tel 562.804.1424 Fax 562.925.8660 www.bellflower.org



November 14, 2017

City Ventures
Attn: Kim Prijatel
3121 Michelson Drive
Suite 150
Irvine, CA 92612

Re: Development Review (DR) Case No. 9-17-8380 – Request for a Zone Change, Precise Plan, Plan Development, and Tentative Map for a Proposed Mixed Use Development Project (29 attached condominiums and 1,603 square feet of commercial space) within the M-1 (Light Industrial) zone at 9958 Artesia Boulevard, Bellflower, CA 90706.

Dear Mrs. Prijatel:

Thank you for submitting your project application, plans, other documents and fees on September 30, 2017, for a Development Review, Zone Change, Precise Plan, Plan Development, and Tentative Map for a mixed use development with 28 attached, 3-story, condominium units and 1, 2-story condominium unit attached to a 1,603 square feet of commercial building within the M-1 (Light Industrial) zone at 9958 Artesia Boulevard, Bellflower, CA 90706.

After review of your DR submittal, the proposed project has been conditionally approved, pending acceptance of all the conditions (enclosed: Comments from Planning Division, Building and Safety Division, Public Works Department, Traffic Engineering, City Engineering, Fire Department, Stormwater Consultant, and others). Your next step is to revise the plans and then submit for Planning Commission and City Council review. The conditional approval of the proposed project is based on the following findings, pursuant to BMC Subsection 17.80.040:

1. *That the proposal is consistent with the Bellflower General Plan and the Zoning Code.*

The proposed project is consistent with the City's general plan in that the proposed project will result in the subdivision of existing parcels for the development of mixed use multifamily attached units within a planned development overlay in accordance with the General Plan Land Use Element.

The subject property will be improved with uses consistent with the goals and policies of the General Plan, including but not limited to: Goal 1 (Discourage disjoint land use patterns), Goal 2 (Create a City that functions efficiently, is aesthetically pleasing, and makes the best use of its various resources); Goal 5 (Provide incentives for reinvestment in aging, built-out developments and encourage consolidation of properties for higher quality land uses and designs); Policy 1.1 (Provide land use designations which match actual viable uses); Policy 1.2 (Encourage opportunities to sensitively integrate different, but compatible, land uses); Policy 2.1 (Create opportunities wherein a population diverse in terms of income, age, occupation, race, lifestyle, values, interest, and religion may interact, exchange ideas, and realize common goals); Policy 2.2 (Provide commercial facilities to meet the retail and service needs of the community); Policy 2.7 (Carefully scrutinize plans for developments which will have a significant impact on the city or on surrounding developments to ensure the highest quality design); Policy 2.15 (Encourage a greater proportion of home ownership and owner occupancy of multi-family developments); Policy 5.2 (Allow different development standards for consolidated properties where it is possible to provide amenities in a different manner than is necessary on smaller lots (i.e. centralized parking and open space with shared access)). The proposal is also consistent with the following policies from the Mixed Use section: Policy 1 (Allow for innovative and/or neo-traditional uses in established area) and 2.1 (The City shall consider different mechanisms to implement new innovations in housing and commercial endeavors). Finally the project is unique to the zoning code because it includes its own development standards via a precise plan/planned development that will require approval from the Planning Commission and City Council.

2. *That the design of the proposal is appropriate to the City, the neighborhood, and lot on which it is proposed.*

That the proposed project is compatible with the surrounding neighborhood and adjacent properties in that there are existing multifamily residential developments 2 and 3 stories tall nearby as well as similar commercial properties with the similar parking layouts and commercial building locations directly across the street from the property. In addition the commercial building design is modern and similar in height and style with an existing commercial building to the north of the subject site and similar to a recently approved project to the west.


3. *That the design of the proposal is compatible with its environment with respect to use, forms, materials, colors, setbacks, location, height, design, or similar qualities as specified in Section 17.80.010.*

That the proposed project incorporates superior site design techniques that demonstrate innovative and creative utilization of design principles in that the proposal provides mixed use development that incorporates both residential and

commercial components where the mixed use component is at the street level and remaining residential uses are towards the rear of the lot. In addition, the buildings are properly spaced apart to allow for functional space and access to the site. The proposed driveways are code complaint for vehicles and adequate access is provided for emergency vehicles. The proposal includes common openspace/landscaping throughout the project area as well for the residents and commercial tenants. The site will include new perimeter split face walls, proper lighting, both pedestrian and vehicles access, decorative paving. All structures must have minimum "four-sided" architecture treatment/elements. The residential and commercial buildings include brick/stone veneer, cement siding, metal awnings, balconies with metal railings, flat roof, decorative parapets and stucco. The buildings have varied setbacks and building heights range from 2 to 3 stories. The above features are compatible with surrounding adjacent commercial and residential uses.

The enclosed "Agreement Affidavit in Support Thereof" must be returned to the City of Bellflower Planning Division within ten (10) calendar days of the date of the affidavit. If you have any questions regarding the DR determination, you may contact me at (562) 804-1424, extension 2248 or via email at jclarke@bellflower.org.

Sincerely,


Jason P. Clarke
Senior Planner

Enclosures

cc: Property Owner, Gordan Tiemeyer, 8554 Berthusen Rd, Lyndon, WA 98264
Rowena Genilo-Concepcion, Interim Director of Planning and Building Service
Case File

AGREEMENT
AFFIDAVIT IN SUPPORT THEREOF

November 14, 2017

IN THE MATTER OF THE APPLICATION OF

City Ventures
Attn: Kim Prijatel
3121 Michelson Drive
Suite 150
Irvine, CA 92612

FOR Development Review Case No. DR 9-17-8380

AT 9958 Artesia Boulevard Bellflower, CA 90706

PURSUANT TO THE PROVISIONS OF THE ZONING ORDINANCE OF THE CITY OF
BELLFLOWER.

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES)
CITY OF BELLFLOWER)

The undersigned Applicant/Property Owner for DR 9-17-8380 (Case Number) in the above entitled matter hereby acknowledges receipt of a copy of the Development Review Conditions of Approval for the project at the above-mentioned site. Applicant/Business Owner/Property Owner further does now hereby accept and agree to comply with all the terms and conditions pursuant to, and under which, said approvals were granted to the Applicant/ Property Owner. Applicant/ Property Owner understands and agrees that the site for which the approvals were granted may not operate until all conditions of approval are implemented.

Applicant's Signature

Property Owner's Signature

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES)

Subscribed and sworn to before me this

_____ day of _____, 2017,

ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of _____)

On _____ before me, _____
(insert name and title of the officer)

personally appeared _____
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal.

Signature _____

(Seal)

**PLANNING DIVISION COMMENTS FOR 9958 ARTESIA BOULEVARD
NOVEMBER 14, 2017**

General Conditions

1. This Development Review request is for the following:

Planned Development, Zone Change, Precise Plan and Tentative Map to subdivide an existing 66,646.8 square foot lot, change the zone from M-1 to M-1PD, propose development standards for a mixed use, 2-3 story, 29 unit condominium development (includes 1 condominium unit attached to a 1,603 square feet of commercial building). Development standards include varied setbacks, openspace/landscape, common areas with amenities, 2.5 parking spaces per unit, shared parking between commercial use and residential use.

2. Additional comments may be required during Planning Commission, City Council and plan check review.
3. Failure to implement and/or maintain all provisions of these conditions of approval must be deemed to void this conditional approval.
4. A decision is not effective until permittee acknowledges acceptance of any conditions and any appeal period has lapsed, or a waiver of right to appeal is filed, or if there is an appeal, until a final decision has been made on the appeal. By use of entitlements granted by a development application, the Applicant/Property Owner acknowledges agreement with conditions of approval for the Development Review.
5. Conditional approval of development review applications is valid for twelve (12) months after the date of approval (November 14, 2017), unless a building permit (plan check) application is submitted to the Building Official, or designee, for the project within that twelve (12) month period, in which case the approval is valid as long as the plan check or building permits for the project are valid. Upon good cause shown, the Planning Director may grant one extension of an approval of not more than twelve (12) months in the aggregate, from the original expiration date.
6. Anything which is not shown on application/plans, or which is not specifically approved, or which is not in compliance with this chapter, is not approved. Any application and/or plans which are defective as to, without limitation, omissions, dimensions, scale, use, colors, materials, encroachments, easements, etc., renders any entitlements granted by this chapter null and void. Construction (if any) must cease until all requirements of this chapter are complied with.
7. The applicant may file an appeal with the Planning Commission from any denial, approval, or conditional approval of any application by the Planning Director pursuant to this chapter. Said appeal must be in writing and must be filed with the City Clerk not later than ten (10) days after the Planning Director's action. Appeals must set forth the alleged inconsistency or nonconformity with

- procedures or criteria set forth in this chapter, and must be accompanied by a filing fee as established by City Council resolution.
8. Not less than ten (10) calendar days before the date set for the Planning Commission hearing on the appeal, written notice must be given to the appellant or his/her representative, and to the property owner, of the date, time, and place of the hearing. The Planning Commission may affirm, reverse, or modify the decision of the Planning Director, at all times being guided by the criteria set forth in this chapter. An appeal of the Planning Commission's decision may be filed pursuant to Chapter 17.112 of this Code. The decision of the City Council is final.

Step 1 - Plan Corrections/Other

The following comments are based on the project plans date-stamped September 28, 2017. Please revise the plans to address the comments contained herein prior to submitting an application for Planning Commission and City Council review.

Sheet SP-1 (Conceptual Site Plan)

Site Plan

1. **Trash Enclosure:** Please include trash enclosure location for commercial building.
2. Dimension the length and width of all open parking spaces.
3. Identify all property lines and dimensions.
4. **West Property Line:** Provide a note indicating the removal of any landscaping and perimeter walls for the 2 access ways along the west property line. Will the existing wall/fence along the west property line remain?
5. Identify the rear yard setback for Building 201.
6. Identify all wheel stops (i.e. 3 spaces along the east property line are missing).
7. Identify all sidewalks/walkways.
8. Identify all existing/proposed perimeter/interior walls, fences, gates, etc. Also include the height.

Project Summary

9. **Total Site Area:** Change the total site area from "1.53" acres to "1.527".
10. **Total Units:** Add the number of stories to flat over retail (i.e. 2-story).
11. **Density:** The density should be 18.99 (29/1.527 acres) not 18.95 (29/1.53 acres).
12. **Parking:** The parking is 2.5 spaces per home not 2.6. Provide the total number of parking spaces below.

Other

13. **Building Stats:** Include the number of units under each building summary (i.e. Building 200: 5 units).

Sheet SP-2 (Conceptual Trash Plan)

Site Plan

14. Include a legend for trash barrel symbols.
15. Identify all wheel stops (i.e. 3 spaces along the east property line are missing).

Project Summary

16. **Total Site Area:** Change the total site area acres from "1.53" acres to "1.527".
17. **Total Units:** Add the number of stories to flat over retail (i.e. 2-story).
18. **Density:** The density should be 18.99 (29/1.527 acres) not 18.95 (29/1.53 acres).
19. **Parking:** The parking is 2.5 spaces per home not 2.6. Provide the total number of parking spaces below.

Sheet SP-3 (Site Section)

20. **Mechanical Equipment:** Please demonstrate all roof top mechanical equipment will be screened from public view and adjacent properties.

Sheet C-1 (Tentative Tract Map)

21. **General Notes:** Correct the following:

#1. Subdivision area is 1.527 not 1.53

#2. The existing zone is not DFD. The proposed zone is M-1Planned Development not Specific Plan.

#6. There are 17 open parking spaces not 15.

22. **Legal Description:** The legal description on the plans and the title report includes 5 parcels; however, the site only has one parcel number 7161-007-016. Please clarify.

23. **Proposed Easement Notes:** Please provide proposed easements for the 2 openings/accesses between the subject tract map/project and the adjacent approved development to the west.

24. **Utility Purveyors:** Provide the correct working number for Verizon Communications and Time Warner Cable is now "Spectrum"; also Cable is spelled incorrectly (i.e. Cale).

Sheet C-2 (Conceptual Site Plan)

Site Plan

25. **Trash Enclosure:** Please include trash enclosure location for commercial building.
26. Dimension the length and width of all open parking spaces.
27. Identify all property lines and dimensions.
28. **West Property Line:** Provide a note indicating the removal of any landscaping and perimeter walls for the 2 access ways along the west property line. Will the existing wall/fence along the west property line remain?
29. Identify all wheel stops (i.e. 3 spaces along the east property line are missing).
30. **East Property Line:** Include a 10-foot long, 42 inch tall wall/fence or 6-foot tall transparent fence along the east property line for visibility clearance for the adjacent property.
31. Identify the rectangular objects within the large landscape area and the patio area near the commercial unit adjacent Artesia Boulevard.
32. Identify the grid pattern object within the open space between Building 3 and 5.

Project Summary

33. **Total Site Area:** Change the total site area from "1.53" acres to "1.527".
34. **Total Units:** Add the number of stories to flat over retail (i.e. 2-story). The commercial is 1,603 s.f. not 1,700 s.f.
35. **Density:** The density should be 18.99 (29/1.527 acres) not 18.95 (29/1.53 acres).
36. **Parking:** The parking is 2.5 spaces per home not 2.6. Provide the total number of parking spaces below.

Sheet C-4

37. **Section C-C:** Clarify if existing wall will remain or will be removed for access purposes.

Sheet C-2 (Conceptual Site Plan)

38. Dimension the length and width of all parking spaces.
39. Identify all property lines and dimensions.
40. Identify all wheel stops (i.e. 3 spaces along the east property line are missing).

Sheet C-6

Site Plan

41. **Trash Enclosure:** Please include trash enclosure location for commercial building.
42. Dimension the length and width of all parking spaces.

- 43. Identify all property lines and dimensions.
- 44. Identify all wheel stops (i.e. 3 spaces along the east property line are missing).
- 45. **Existing and Proposed Aprons:** Include notes on the plans for the 2 northwest aprons (i.e. remove or keep). Remove and replace existing aprons with, sidewalks, curb and gutters. Ensure the proposed apron is drawn to City standards. (see attached)
- 46. **Fire Hydrant Locations:** The location of the front westerly fire hydrant is consistent between the site plan and site map.

Sheet A-1 (Floor Plan- Building 200)

- 47. **First Floor Plan:** Label each space/room on the floor plan. Include interior dimensions for the 2-car garage on each floor plan (i.e. minimum dimension is 20 feet long by 20 feet wide). Identify storage space in garage; if none please include (i.e. cabinet space, etc.). The text is backwards (i.e. water heater and dimensions).
- 48. **Second and Third Floors:** Label each space/room on the floor plan.
- 49. **Roof Plan:** Numbers are upside down. Label all equipment and objects on each roof.

Sheets A-2 and A-3 (Elevations – Building 200)

- 50. **Right, Left, Front and Rear Elevations:** Label elevations north, south, east, or west.
- 51. **4-Sided Architecture:** Building elevations must include 4-side building materials. The building materials include stucco, brick, siding, metal railings, and metal awnings. Call out all building materials on each elevation. Left elevation missing brick and awnings. Right elevation missing awnings. Conceal rain gutters within the building (see left and rear elevations).

Sheet A-4 (Floor Plan – Building 201)

- 52. **First Floor Plan:** Label each space/room on the floor plan. Include interior dimensions for the 2-car garage on each floor plan (i.e. minimum dimension is 20 feet long by 20 feet wide). Identify storage space in garage; if none please include (i.e. cabinet space, etc.). The text is backwards (i.e. water heater and dimensions).
- 53. **Second and Third Floors:** Label each space/room on the floor plan.
- 54. **Roof Plan:** Numbers are upside down. Label all equipment and objects on each roof.

Sheets A-5 and A-6 (Elevations – Building 201)

55. **Right, Left, Front and Rear Elevations:** Label elevations north, south, east, or west.
56. **4-Sided Architecture:** Building elevations must include 4-side building materials. The building materials include stucco, brick, siding, metal railings, and metal awnings. Call out all building materials on each elevation. Right and left elevations missing brick and awnings. Conceal rain gutters within the building (see left and rear elevations).

Sheets A-7 and A-8 (Floor Plan – Building 300)

57. **First Floor Plan:** Label each space/room on the floor plan. Include interior dimensions for the 2-car garage on each floor plan (i.e. minimum dimension is 20 feet long by 20 feet wide). Identify storage space in garage; if none please include (i.e. cabinet space, etc.). The text is backwards (i.e. water heater and dimensions). Call out the cabinet on the right exterior side of the building, and square object on the left side. Include the building square footage for Plans: 3B-R, 3G, 3A-ADA and 3H-R.
58. **Second and Third Floors:** Label each space/room on the floor plan. Label and include the dimensions and square footage for the space adjacent the deck for Plans: 3B, 3B-R, 3-G and 3H-R.
59. **Roof Plan:** Numbers are upside down. Label all equipment and objects on each roof.

Sheets A-9, A-10 and A-11 (Elevations – Building 300)

60. **Right, Left, Front and Rear Elevations:** Label elevations north, south, east, or west.
61. **4-Sided Architecture:** Building elevations must include 4-side building materials. The building materials include stucco, brick, siding, metal railings, metal awnings and other. Call out all building materials on each elevation. Left elevation missing brick and awnings. Front, rear, left and right elevations missing brick material. Conceal rain gutters within the building (see left and rear elevations).

Sheets A-12 and A-13 (Floor Plan – Building 400)

62. **First Floor Plan:** Label each space/room on the floor plan. Include interior dimensions for the 2-car garage on each floor plan (i.e. minimum dimension is 20 feet long by 20 feet wide). Identify storage space in garage; if none please include (i.e. cabinet space, etc.). The text is backwards (i.e. water heater and dimensions). Call out the cabinet on the right exterior side of the building, and square object on the left side. Include the building square footage for Plan: 3F.

63. **Second and Third Floors:** Label each space/room on the floor plan. On the second floor label and include the dimensions and square footage for the space adjacent the deck for Plans: 3F-R and 3F. Dimension the exterior of building on second and third floor.
64. **Roof Plan:** Label all equipment and objects on each roof.

Sheets A-14 and A-15 (Elevations – Building 400)

65. **Right, Left, Front and Rear Elevations:** Label elevations north, south, east, or west.
66. **4-Sided Architecture:** Building elevations must include 4-side building materials. The building materials include stucco, brick, siding, metal railings, metal awnings and other. Call out all building materials on each elevation. Rear, left and right elevations missing brick. Rear elevation missing brick material. Conceal rain gutters within the building (see right, left and rear elevations).

Sheets A-16 (Floor Plan – Building 100)

67. **First Floor Plan:** Include interior dimensions for the 2-car garage on each floor plan (i.e. minimum dimension is 20 feet long by 20 feet wide). Call out trash location inside the garage. Identify storage space in garage; if none please include (i.e. cabinet space, etc.). Call out the rectangular object on the left side of the building. Identify the trash enclosure for the commercial unit with commercial bin(s). Include a decorative metal gate and wood trellis above.
68. **Second Floor:** Label each space/room on the floor plan. Dimension the exterior of the building walls on second floor. Label the wood trellis.
69. **Roof Plan:** Label all equipment and objects on the roof.

Sheets A-17 and A-18 (Elevations – Building 100)

70. **Right, Left, Front and Rear Elevations:** Label elevations north, south, east, or west.
71. **4-sided Architecture:** Building elevations must include 4-side building materials. The building materials include stucco, brick, siding, metal railings, metal awnings and other. Call out all building materials on each elevation. Right elevation missing siding and awnings. Front elevation missing awnings. Conceal rain gutters within the building (see right and front elevations).

Sheet A-21 (Pictures)

72. **Existing Pictures:** Include updated pictures of the subject site not the site at 9908-9922 Artesia Blvd.

Sheet L-2 (Landscaping)

73. **Key:** Provide a note for the trash enclosure for the commercial space. Provide details for the bio-filtration basins. Provide details for the BBQ equipment, waste receptacles, picnic tables,

Sheet L-4 (Landscaping)

74. **Plant Palette:** Include the quantity of trees per tree. Include the trees, plants and turf on a site plan (i.e. 17, 48-inch box trees). A minimum of 1, 24-inch to 48-inch box tree per unit and 5, 5 gallon plans per 1,000 square feet of floor area per residential and commercial unit is required.
75. **Open Space Area:** Include the square footage for each landscaped area and provide a total of all.

Other

76. Please address attached Fire Department comments.
77. Please address attached Public Works comments
78. Please address attached City Traffic Engineer comments.
79. Please address attached Stormwater comments.
80. Please address attached Building and Safety comments
81. **Setback Plan:** Provide a sheet specifying the proposed setbacks for the project (i.e. front, side and rear).
82. **Existing Site Plan:** Provide an existing site/demo plan.
83. **Trash Enclosure:** Include dimensioned floor plan and elevations.
84. **Parking Study:** Please revise the attached parking study to include accurate information.

Step 2 - Entitlement/Review Process

Please submit the following for the entitlement process after revising the plans:

85. **Project Application Submittal:**
- A. 15 sets of plans (i.e. site plan, floor plan, roof plan, landscape plan, building elevations) stamped and signed by a licensed design professional at the time of submittal.
 - B. Color/materials board containing samples of building finishes, paving and walls, trims, sign graphics and materials, paint color chips, etc.
 - C. **Architectural Site Model:** projects with a project valuation greater than two and a half million dollars (\$2,500,000.00), adjusted annually to reflect the Consumer Price Index, must provide an architectural model that illustrates the site layout, design features and architecture of each structure within the project. The model must be constructed to the specifications established by and in the sole discretion of the Director. The model is the property of the

- City. Please prepare and submit a model if the project valuation is greater than 2.5 million dollars for the entitlement process. [BMC § 17.80.070]
- D. One copy of 8 ½" X 11" reductions of all architectural plans (i.e. site plan, floor plan, building elevation plans, etc.).
 - E. Digital copy of all submittal items.
 - F. \$600.00 publication fee per hearing to notice the project in the local newspaper. Publication fees typically range from \$600 - \$1,000; any outstanding balance must be paid no later than ten days prior to a scheduled public hearing.
86. **Climate Action Plan:** The project must comply with the attached Climate Action Plan (CAP) by integrating the City's Climate-Ready Development Standards selected by the Applicant/Property Owner(s) and achieve the minimum required 16 points out of the 21 target points. Please complete and submit the attached table for the entitlement process.
87. **Trash Plan Approval:** Please submit a trash plan approved by the City's trash provider CR&R. Please email the plan to Dan Stephanian at dans@crmail.com for approval.
88. **Master Signage Plan:** A master sign program is required for the project.
89. **Building Address Location:** Ensure all building elevations include address sign locations for the unit and the building. Building signs must be visible and appropriate location for service vehicles to see.
90. **Parking Lot Lighting:** Please include parking lot lighting for all open parking spaces. All light poles must be decorative with a brick/stone on the base of the poles.
91. **Site Map:** Incorporate a decorative site map near the front entrance. The maximum height is 6 feet. Include dimensioned elevations.
92. **Phasing Plan:** A construction phasing plan and traffic control plan may be required prior to obtaining construction permits.
93. **Public Poster Noticing:** One (1) Notice of Public Hearing poster will be required for the proposed project. The applicant is responsible for payment and installation in accordance with applicable state law. The fee is approximately \$100.00 plus tax per poster. A sign company in Bellflower will contact the applicant once the poster is ready. The poster must be posted on-site at least ten (10) days in advance of the scheduled public hearing. Please see the attached handout for further details on the poster sign process. Reminder: An additional poster sign will be required for the City Council review process.
94. **Resolution No. 16-75:** The project is subject to similar/same conditions of approval outlined in attached Resolution No. 16-75.
95. **Door and Window Schedule:** Provide a door and window schedule.
96. **Materials Board:** Provide a sample of the "brick" wainscot shown on some of the units. The samples provided all show "stone".
97. **Tentative Grading Plan:** Provide a tentative grading plan for the Planning Commission meeting.
98. **Licensed Professional Stamped Plans:** Ensure all plans and documents are stamped and signed by the licensed professional.

Other- Entitlement items

99. **Native Tribe Consultation:** Since the project includes a Mitigated Negative Declaration, pursuant to the California Environmental Quality Act (CEQA), the project is currently under consultation with the California Native Tribes. When consultation is completed the project can proceed to public hearing.
100. **Fish and Game/CEQA Environmental Review:** Two (2) separate checks for \$75 made out to the Los Angeles County Register are required and/or a Fish and Game filing fee of \$2,216.25 may be required.

Other: Address the following prior to permit issuance

101. **Development and other Fees:** The project is subject to the following list of development fees (See attached list):
- A. **Park Fee:** The proposed project will be subject to the Park Fee. The fee for the residential project is \$17,023 per unit. The applicable fee will be charged during building plan check and payment must be received before permits may be issued. [BMC § 3.36]
 - B. **Public Facilities Fee:** The proposed project will be subject to the Public Facilities Fee. The fee for the residential project is \$1,104 per unit. The applicable fee will be charged during building plan check and payment must be received before permits may be issued. [BMC § 3.24]
 - C. **Public Arts Fee:** All new residential projects with a project valuation in excess of \$500,000.00 are subject to the Public Arts provision. The project applicant must acquire and install art work in a public place on or in the vicinity of the project site, as approved by the City Council pursuant to BMC Chapter 3.32. The cost or value of such work must equal or exceed one percent (1%) of the project cost. Alternatively, in-lieu of acquiring and installing art work, the project applicant may contribute an amount equal to one percent (1%) of the project cost to the Public Arts Fund. [BMC § 3.36]
 - D. **Construction and Demolition (C&D) Waste Management Plan:** A C&D Waste Management form is required to be completed, submitted, and approved by Public Works Department prior to issuance of building permits.
 - E. **Underground Utilities:** Service for all utilities (including but not limited to the electrical service) must be of underground entry when the valuation of a project exceeds \$50,000.00.
 - F. **School Fees:** The subject property is located within the Bellflower Unified School District (B.U.S.D.). B.U.S.D. charges \$3.48 per square foot for new residential construction. Proof of payment to the school district, or documentation that project is exempt from, or that fees have been waived must be provided during plan check for building permits to be issued.

*Bellflower Unified School District
16703 Clark Avenue
Bellflower, CA 90706
(562) 866-9011*

- G. **Final Tract Map:** The final tract map fee is \$1,479.

H. **CC&R and HOA:** CC&R and HOA documents required. \$895.00 process fee required.

Upon receipt of your revised plans, your application and plans will be reviewed for consistency. The comments included within this correspondence relate specifically to issues which need to be addressed, clarified or provided with more detail. Once the plans are officially submitted, the City will then review the project for completeness. The project is subject to additional comments and recommendation during the Entitlement process, and/or pending further revisions/submittals.

Standard Building & Safety Comments

Codes in Effect:

- 2016 California Building Code
- 2016 California Residential Code
- 2016 California Green Building Standards
- 2016 California Energy Code
- 2016 California Electrical Code
- 2016 California Mechanical Code
- 2016 California Plumbing Code
- 2016 California Fire Code
- 2016 LA County Fire Code as adopted with amendments by the City of Bellflower
- Bellflower Municipal Code

4 sets of complete plans and 2 sets of supporting documents are required at plan check submittal.

Commercial Projects must be designed by a California Licensed Designed Professional. Plans must be stamp and signed by the California Licensed Design Professional.

Certain projects may require approval from LA County Fire Department.

Certain projects may require approval from LA County Health Department.

Additional comments may occur during the Plan Review Process.

The City of Bellflower offers a Self-Certification Program for Plan Review.

Date: October 30, 2017

TO: Rowena Genilo- Concepcion, Interim Director of Planning and Building Services

FROM: Jerry Stock, City Engineer

SUBJECT: DR 9-17-8380, 9958 Artesia Blvd.

I have reviewed the area in question and the following deficiencies in land development as they pertained to public right-of-way were noted. Any existing damaged public right-of-way improvements shall be repaired in accordance with Section 5600 et seq of the California Streets and Highways Code and with the Bellflower Municipal Code before occupancy will be granted. (Property owner is responsible for the repair and maintenance of curb/gutter, sidewalk and drive apron).

TRAFFIC ENGINEERING

The site plan shall show the location and dimensions of all existing and proposed drive approaches.

The site plan shall show all existing right of way improvements.

Landscape and hardscape improvements located within the 20-foot front yard setback shall not exceed 42" in height as measured from the paved driveway surface to ensure safe vehicular sight distance.

The site plan shall dimension all parking spaces.

The site plan shall include the required parking as well as the provided parking.

The site plan shall provide driveway dimensions at all angle points and any proposed radii.

A traffic impact analysis prepared by a licensed traffic engineer is required. Specific study intersections shall be established per the City Engineer. Contact the City of Bellflower Department of Planning to identify any cumulative projects. Level of Service computations at signalized intersections shall be per the Intersection Capacity Utilization (ICU) format. The traffic study shall also assess line of sight at the driveway serving the development and define any specific recommendations to ensure an adequate line of sight.

A shared parking Technical Memorandum was prepared. The memorandum presents 4

different scenarios and concludes that sufficient on-site parking is provided by virtue of shared parking for any of the four scenarios. It is noted that shared parking refers to shared land uses on the subject property or possibly the adjacent City Ventures development (Bellflower 3) as well as the proposed development (Bellflower 4).

The site plan shall show the designated disabled access path from the public right of way.

CITY ENGINEERING

The site plan shall show and dimension all property lines and any internal lot lines.

The site plan shall show and dimension all easements.

A preliminary soils report prepared by a licensed civil or geotechnical engineer is required and shall include an assessment of liquefaction potential.

Fire Protection: This development may require construction of fire protection improvements. Prior to the approval of any development plans the applicant is required to contact Los Angeles County Fire Department, Engineering Division, to obtain the fire flow and access requirements for any proposed development.

The applicant shall contact the local Water Company to determine the existing fire flow rate in this area. If the existing fire flow capabilities are below the required minimum, the applicant shall provide the necessary means for meeting the fire flow rates required by the Fire Department.

A grading plan prepared by a California Registered Civil Engineer is required. The minimum slope on concrete flow lines shall be 0.50%. Minimum slope on asphalt concrete or turf shall be 1.0%. Existing elevations of adjacent property and street flow lines must be shown around the perimeter of the proposed development. All applicable NPDES requirements established by the City's storm water consultant shall be complied with.

A legal description was not submitted. Please show and dimension all existing and proposed easements.

A Tentative and Final Tract map is required.

A licensed surveyor or civil engineer licensed prior to 1982 shall prepare the final map.

The Tentative Tract Map shall show the width and location of all easements for drainage, sewerage, water supply, and utilities; the approximate width and location of any watercourses; trees, and the existing topography on a 1-foot contour interval.

The Final Map shall:

- a) Meet all the provisions of the latest Subdivision Map Act relating to tract/parcel maps.
- b) Give reference to all monuments found or set.
- c) Include traverse calculations of the tract/parcel lots indicating closure within 1:10,000.
- d) The developer will be required to pay all applicable checking fees with the City prior to the start of map checking.
- e) Tentative Tract Map improvements established by the City Engineer not completed and accepted at the time of approval of the final map shall require the applicant to enter into a Subdivision Improvement Agreement with the City of Bellflower to complete such public right of way improvements at the applicant's expense and guaranteed by two improvement securities each equal to the cost of the improvements as determined by the City of Bellflower Department of Public Works.
- f) Be recorded by the Los Angeles County Recorder.
- h) The applicant shall provide the City with two (2) duplicate, medium weight mylars and four (4) sets of prints of the recorded tract map. All existing and/or proposed easements shall be shown on the final map.

Two inch I.P. monuments (24 inch minimum length) shall be set at all lot corners, except where sidewalks are to be constructed or are existing. The surveyor shall set Lead and Tack in the sidewalk at these locations.

All damaged sidewalk shall be removed and reconstructed in accordance with City Standards per the Bellflower Municipal Code. New sidewalk shall be constructed at the abandoned empty tree wall located immediately west of the METRO bus stop.

The site plan shall show and dimension all existing and proposed perimeter walls/fences.

The site plan shall include typical sections at all side and rear property lines. Said sections shall show the property line, perimeter walls/fences, adjacent building walls and roof overhangs with dimensions from property line to each feature described. Sections shall also show the perimeter wall/fence height measured on both sides of said wall/fence.

Four (4) existing driveway aprons shall be removed and replaced with full height curb and gutter, sidewalk, and parkway improvements consistent with existing, adjacent parkway improvements.

Remove one existing drive apron and construct a new driveway apron per City Standards with the bottom width, W, per the approved plans. A "C-8" or an "A" licensed contractor shall do all work. "B-1" contractors are not acceptable for this work. Note: Horizontal saw cutting of existing curb is permitted in most instances. Verify with City Public Works Inspector.

Curb and gutter shall be removed and reconstructed corresponding to the reconstructed driveway apron.

An on-site sanitary sewer lateral shall be constructed to service the property. If a new lateral is proposed from the property to the existing sewer main, the minimum lateral size from main to property line is 6". A separate sewer clean out shall be provided for each property. Excavation permits with necessary insurance and bonds are required.

For any new sewer connections please contact the Los Angeles County Sanitation District and obtain any connection permits. Documentation of said permits shall be submitted to the Building Official prior to the issuance of any building permits. Provide documentation from the District that sufficient sewer capacity is provided.

A City of Bellflower sewer reconstruction fee in the amount of \$10,929.00 shall be paid to the City of Bellflower Department of Public Works.

All utilities within the subject property shall be placed underground prior to building occupancy or sale, in accordance with the Bellflower Municipal Code.

Un-sodded, mounded planters adjacent to public sidewalk shall be provided with 6" curbs to prevent soil run-off onto the public sidewalk. Curbs are not required if the planter consists of sod.

The contractor shall meet with the City Public Works Inspector before starting any construction within the public right-of-way.

All work within the public right-of-way, including placing and removal of traffic control devices, shall be restricted to the hours between 8:30 A.M. and 3:30 P.M., Monday through Friday. No work requiring continuous inspection or traffic control shall be done on Saturday, Sunday or Holidays, unless prior arrangements have been made at least one week in advance with the approval of the City Engineer.

The developer, at his/her cost, shall be responsible for the relocation as necessary of any public or private utility or other obstruction to facilitate the construction within the public right-of-way.

PERMITS ARE REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY

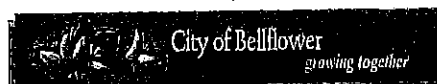
Plan Case Detailed

Development Review Board

Application Date: 09/28/2017

Case Status: Under Review

Location Address: 9958 ARTESIA BLVD



Department of Public Works
Bellflower, CA 90706
(562) 804-1424 ext. 2259

Checklist is **ONLY** an estimate of Right of Way Construction Cost and **NOT** an actual cost
ROW DEPOSIT MUST BE PAID IN FULL PRIOR TO/OR DURING BUILDING PERMIT ISSUANCE

Permit Number: DR-9-17-8380

Owner: HENRY P & ANNA TIEMEYER

Telephone No:

Applicant: City Ventures

Telephone No: (714)343-4723

Proposed Work: 29 Residential Condos, one commercial condo 16k square feet; 1.53 acres

Project Valuation: N/A

Driveway Apron - Right of Way Permit Required

Estimated ROW Construction Cost

Status: Substandard

No. of Aprons: 5

Remove: (L) 129 (W) 9

Construct: (L) 28 (W) 9

S.F x \$2.67 = \$3,099.87

S.F x \$5.33 = \$1,343.16

Curb Ramps - Right of Way Permit Required

Status: N/A

No. of Ramps: 0

Remove: (L) 0 (W) 0

Construct: (L) 0 (W) 0

S.F x \$2.67 = \$0.00

S.F x \$5.33 = \$0.00

Curb & Gutter - Right of Way Permit Required

Status: Substandard

Remove: (L) 129

Construct: (L) 129

L.F x \$20.00 = \$2,580.00

L.F x \$20.00 = \$2,580.00

Sidewalks - Right of Way Permit Required

Status: Substandard

Remove: (L) 19 (W) 9

Construct: (L) 140 (W) 9

S.F x \$2.00 = \$342.00

S.F x \$4.00 = \$5,040.00

Total Estimated ROW Construction Cost: \$ 14985.03

Total ROW Deposit: \$ 14985.03

DEPOSIT IS BASED ON THE ESTIMATED ROW CONSTRUCTION COST

Other Requirements (This section does not include ROW Permit Fees):

Sewer Reconstruction - Per Resolution No. 08-36 66647 S.F. 29 Units

Fee: \$10,962.00

Fire Flow -Per Resolution 02-37
City Fire Flow Connection

Fee: \$0.00

Street Trees Number of Trees: 0

Fee: \$0.00

Underground Utilities Required When Valuation Underground: Required
Exceeds \$50,000.00 Per Ordinance No. 1037

Total Listed Fees: \$ 10,962.00

Pole: S

Side of: ARTESIA BL.

Tuesday, October 31, 2017

Page 1 of 2

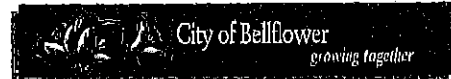
Plan Case Detailed

Development Review Board

Application Date: 09/28/2017

Case Status: Under Review

Location Address: 9958 ARTESIA BLVD



Department of Public Works
Bellflower, CA 90706
(562) 804-1424 ext. 2259

**Checklist is ONLY an estimate of Right of Way Construction Cost and NOT an actual cost
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Owner: HENRY P & ANNA TIEMEYER

Telephone No:

Applicant: City Ventures

Telephone No: (714)343-4723

Proposed Work: 29 Residential Condos, one commercial condo 16k square feet; 1.53 acres

Project Valuation: N/A

Driveway Apron - Right of Way Permit Required

Comments: NOTE: REQUIREMENTS ORIGINALLY NOTED ON PRELIMINARY CHECKLIST, PLAN CASE #PR-4-17-7922

OF THE EXISTING FIVE DRIVEWAY APRONS, FOUR ARE TO BE ABANDONED, AND ONE REMOVED AND RECONSTRUCTED. FROM EAST TO WEST, THE APPROXIMATE MEASUREMENTS ARE:

1. 20 X 9 - ABANDON
2. 32 X 9 - ABANDON
3. 20 X 9 - R&R
4. 32 X 9 - ABANDON
5. 25 X 9 - ABANDON

APRON #3 SHALL BE REMOVED AND RECONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY STANDARDS PLAN (BSP-02, COMMERCIAL). THE REMAINING APRONS SHALL BE REMOVED AND THE SIDEWALK, CURB, AND GUTTER RECONSTRUCTED FULL.

A "C-8" OR AN "A" LICENSED CONTRACTOR SHALL APPLY

FOR A CITY OF BELLFLOWER RIGHT OF WAY PERMIT TO PERFORM ALL LISTED RIGHT OF WAY IMPROVEMENTS. CLASS B (GENERAL BUILDING) CONTRACTORS WILL NOT BE APPROVED FOR PERMIT ISSUANCE TO PERFORM THIS TYPE OF WORK WITHIN THE PUBLIC RIGHT OF WAY.

Ramps - Right of Way Permit Required

Comments:

Curb & Gutter - Right of Way Permit Required

Comments: CURB AND GUTTER SHALL BE REMOVED AND RECONSTRUCTED CORRESPONDING TO THE RECONSTRUCTED DRIVEWAY APRON.

CURB AND GUTTER SHALL BE REMOVED AND RECONSTRUCTED FULL CORRESPONDING TO THE FOUR ABANDONED DRIVEWAY APRONS.

Sidewalks - Right of Way Permit Required

Comments: ALL DAMAGED SIDEWALK SHALL BE REMOVED AND RECONSTRUCTED; ALSO SIDEWALK CORRESPONDING TO THE FOUR ABANDONED DRIVEWAY APRONS AND THE ABANDONMENT OF THE EMPTY TREE WELL LOCATED IMMEDIATELY WEST OF THE METRO BUS STOP.

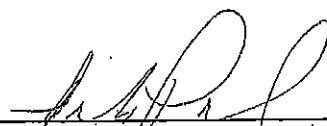
CITY OF BELLFLOWER
Department of Public Works
PRELIMINARY SEWER RECONSTRUCTION FEE

Pursuant to Chapter 13.12 of the Bellflower Municipal Code and Resolution 08-36

Building Address	9958 Artesia Bl.	Plan Case Number	PR-4-17-7922
Owner:		Planner:	Jason Clarke
Applicant:	Kim Prijatelj	Developer:	City Ventures
Mail Address	3221 Michelson Dr., Irvine, CA 92612	Telephone:	949-258-7555
Lot Area:	66,647 Sq. Ft.	Use of Building:	Dwelling units and retail space

The peak rate of flow to the Sanitary Sewer from a building containing mixed occupancies shall be determined by adding the peak rate of flow of the various occupancies.

OCCUPANCIES	Number of Units	Type of Units	Daily Peak Flow Per Unit	Peak Rate of Flow (gallons per day)
Apartments & Dwellings	29	Dwelling Units	600	17,400
Assembly Areas/ Auditorium		Persons	15	0
Car Wash		Lane	86,400	0
Bars & Cocktail Lounges		Seats	60	0
Churches		1000 Sq. Ft. floor area	600	0
Hospitals		Beds	1,500	0
Industry, light (no water processes)		1000 Sq. Ft. floor area	600	0
Laundry (Automatic)		Machines	225	0
Hotel/Motel		Units	600	0
Medical office		1000 Sq. Ft. floor area	900	0
Mobile home or trailer park		Units	400	0
Offices		1000 Sq. Ft. floor area	600	0
Restaurants		Seats	150	0
Stands or Drive-Ins		1000 Sq. Ft. floor area	900	0
Stores		1000 Sq. Ft. floor area	300	0
Storage or warehouse		1000 Sq. Ft. floor area	75	0
Total Peak Rate of Flow				17,400
If lot is or will be vacant**, then: Deduct Credit @ 0.12 gal. per day per sq. ft. of lot area				0
Total Peak Rate of Flow subject to charge				17400.00
Total Charge @ \$0.63 per gallon				\$10,962.00


 Public Works Maintenance Superintendent

5/3/17
 Date

** If new building adds to existing, there is no credit. If partial demolition, refer to Director of Public Works for determination.



**City of Bellflower
NPDES DRB Review Memo**

DATE: 11/01/17

Project Name: TTM 77198 – MIXED-USE TOWNHOMES AND COMMERCIAL PROJECT
Project Location: 9958 ARTESIA BLVD
DRB Number: DR-9-17-8380
Planner: JASON P CLARKE
Verified by: Lori Wolfe

RE: STORMWATER CONDITIONS OF APPROVAL

1. **Best Management Practices (BMPs)** shall be used during construction. Structural treatment controls shall be designed to meet CASQA design requirements at a minimum (<http://www.cabmphandbooks.com> for New Development/Redevelopment).
2. **Prior to grading permit**, a soils report shall be prepared by a qualified engineer to the satisfaction of the City Engineer. An infiltration test is required for infiltration BMPs.
3. **Prior to grading permit**, an erosion and sediment control plan shall be submitted at the time of Grading Plan review and be accepted by the City Engineer.
4. **Prior to grading permit**, grading of the subject property shall be in compliance with the Grading Ordinance and to the satisfaction of the City Engineer.
5. **Prior to grading permit**, a Low Impact Development (LID) plan shall be submitted with the grading plan for review and accepted by the City Engineer.
6. **Prior to grading permit**, the applicant shall furnish the project's Low Impact Development (LID) plan for review and accepted by the City Engineer. The LID will be required to implement post-construction treatment controls with design volumes calculated as identified in the Los Angeles RWQCB Order No. R4-2012-0175 page 97. The design treatment volume must be calculated in accordance with the LA County Hydrology Manual Appendix A procedures to the satisfaction and approval of the City Engineer. The calculations must be performed by a Licensed Civil Engineer in the State of California.
7. **Prior to grading permit**, a maintenance agreement verification for structural treatment controls shall be reviewed and approved to the satisfaction of the City Planner. The Maintenance agreement shall be submitted in accordance with the requirements of Order No. 01-182, Page 39, item 8.
8. **Prior to grading permit**, the applicant shall sign the owner's certification form and embed this document in the project plans to the satisfaction of the City Planner or City Engineer.
9. **Prior to grading permit**, the applicant shall comply with the National Pollution Discharge Elimination System (NPDES) permit from the California Regional Water Quality Control Board (Santa Ana Region).

10. **Prior to grading permit**, the applicant shall file any required documents, including but not necessarily limited to the notice of intent, and comply with permits from the California Regional Water Quality Control Board.
11. **Prior to grading permit**, the applicant shall submit a Storm Water Pollution Prevention Plan (SWPPP) for the review and accepted by the City Engineer. The SWPPP shall describe the construction phase Best Management Practices (BMPs) to ensure compliance with the NPDES General Permit for storm water discharges associated with construction activity.
12. **Prior to building permit**, trash receptacles shall be enclosed by a 6-foot high decorative masonry block wall with approved gates and latches designed to withstand foreseeable use and abuse. Trash receptacles shall also conform with NPDES standards, which may include provisions for a solid roofed cover, an area drain connected to the sanitary sewer system, and a hot water hose bib. Location and design shall be subject to review and approval by the City Engineer and Community Development Director.
13. **Prior to occupancy**, all slopes greater than three feet in height shall be landscaped.
14. **Prior to occupancy**, all catch basins and public access points that cross or abut an open channel shall be marked with a water quality message in accordance with City Standards.
15. **Prior to occupancy**, a flow test shall be conducted all LID design elements to ensure device is functional.



STORMWATER PLANNING PROGRAM PRIORITY PROJECT CHECKLIST

**FORM
PC**

Project Name Kaiser	Owner Name Kaiser	Developer Name Ronald C. Smith
Project Address 9400 Rosecrans	Owner Address 393 E. Walnut Street, 4th Floor	Developer Address
	Pasadena, CA	
Plan Check # Pre-Application Review	Owner Phone	Developer Phone (626) 405-6333

TYPE OF PROJECT

Does the proposed project fall into one of the following categories? Please check Yes/No

	YES	NO
--	-----	----

PRIORITY PROJECTS

1. A new project equal to 1 acre or greater of disturbed area and adding more than 10,000 square feet of impervious* surface area		X
2. A new industrial park with 10,000 square feet or more of surface area		X
3. A new commercial mall with 10,000 square feet or more surface area		X
4. A new retail gasoline outlet with 5,000 square feet or more of surface area		X
5. A new restaurant (SIC 5812) with 5,000 square feet or more of surface area		X
6. A new parking lot with either 5,000 ft ² or more of impervious* surface or with 25 or more parking spaces		X
7. A new automotive service facility (SIC 5013, 5014, 5511, 5541, 7532-7534 and 7536-7539) with 5,000 square feet or more of surface area		X
8. Projects located in or directly adjacent to, or discharging directly to a Significant Ecological Area (SEA)*, where the development will: a. Discharge stormwater runoff that is likely to impact a sensitive biological species or habitat; and b. Create 2,500 square feet or more of impervious surface area		X
9. Redevelopment*		X

SPECIAL PROVISION PROJECTS

10. Green street* project		X
11. Single family hillside* home		X

If checked YES, numerical criteria will apply to Items 1,2,6-9 and Items 3-5 (for project areas of 5,000 ft² or more of surface area.) If any of the boxes are checked YES, this project will require the preparation of a Low Impact Development (LID) Plan and a Maintenance Agreement Transfer*

* Defined on back.

Applicant Name

Applicant Signature

Applicant Title

Date

DEFINITIONS:

Impervious are those surfaces that do not allow stormwater runoff to percolate into the ground. Typical impervious surfaces include: concrete, asphalt, roofing materials, etc. However, some specially designed concrete/asphalt do allow water to percolate (pervious).

Hillside means property where the slope is 25% or greater and where grading contemplates cut or fill slopes. Single family hillside homes will require a less extensive plan. During the construction of a single-family hillside home, the following measures are implemented:

- a. Conserve natural areas
- b. Protect slopes and channels
- c. Provide storm drain system stenciling and signage
- d. Divert roof runoff to vegetated areas before discharge unless the diversion would result in slope instability
- e. Direct surface flow to vegetated areas before discharge unless the diversion would result in slope instability.

Green Streets means any street and road construction of 10,000 square feet or more of impervious surface area

- a. These projects will follow an approved green streets manual to the maximum extent practicable. Street and road construction applies to standalone streets, roads, highways, and freeway projects, and also applies to streets within larger projects. Stormwater mitigation measures must be in compliance with the approved green streets manual requirements.

Redevelopment means land-disturbing activities that result in the creation, addition, or replacement of 5,000 ft² or more of impervious surface area on an already developed site.

Redevelopment does not include routine maintenance activities that are conducted to maintain the original line and grade, hydraulic capacity, or original purpose of facility, nor does it include modifications to existing single family structures, or emergency construction activities required to immediately protect public health and safety.

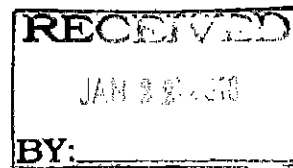
Significant Ecological Area means an area in which plant or animal life or their habitats are either rare or especially valuable because of their special nature or role in an ecosystem and would be disturbed or degraded by human activities and developments. Also, an area designated by the City as approved by the Regional Water Quality Control Board.

Maintenance Agreement and Transfer: All developments subject to LID and site specific plan requirements provide verification of maintenance provisions for Structural and Treatment Control BMPs, including but not limited to legal agreements, covenants, CEQA mitigation requirements, and/or conditional use permits. Verification at a minimum shall include:

- The developer's and/or owner's signed statement accepting responsibility for maintenance until the responsibility is legally transferred; and
- A signed statement from the public entity assuming responsibility for Structural or Treatment Control BMP maintenance and conduct a maintenance inspection at least once a year; or
- Written conditions in the sales or lease agreement, which requires the recipient to assume responsibility for maintenance and conduct a maintenance inspection at least once a year; or
- Written text in project conditions, covenants and restrictions (CCRs) for residential properties assigning maintenance responsibilities to the Home Owners Association for maintenance of the Structural and Treatment Control BMPs; or
- Any other legally enforceable agreement that assigns responsibility for the maintenance of post-construction Structural or Treatment Control BMPs.



**COUNTY OF LOS ANGELES FIRE DEPARTMENT
FIRE PREVENTION DIVISION**



Land Development Unit
5823 Rickenbacker Road
Commerce, CA 90040
Telephone (323) 890-4243, Fax (323) 890-9783

PROJECT:	TR 77198	MAP DATE:	September 28, 2017
ADDRESS:	9958 Artesia Blvd	Planner:	Jason P. Clarke
City:	Bellflower		
Inspector:	Nancy Rodeheffer FPEA II	Report Date:	January 19, 2018

**THE FIRE DEPARTMENT RECOMMENDS THAT THIS PROJECT BE APPROVED
AT THIS TIME AND TO PROCEED WITH THE PUBLIC HEARING PROCESS.**

ACCESS REQUIREMENTS

**Verification for compliance will be performed during the County of Los Angeles
Fire Department Fire Prevention Engineering Section Building Plan Check review
prior to building permit issuance.**

1. Fire Department vehicular access roads shall be installed and maintained in a serviceable manner prior to and during the time of construction. Fire Code 501.4
2. All fire lanes shall be clear of all encroachments, and shall be maintained in accordance with the Title 32, County of Los Angeles Fire Code.
3. The Fire Apparatus Access Roads and designated fire lanes shall be measured from flow line to flow line.
4. Fire Apparatus Access Roads shall be designed and maintained to support the imposed load of fire apparatus weighing 37 ½ tons and shall be surfaced so as to provide all-weather driving capabilities. Fire apparatus access roads having a grade of 10 percent or greater shall have a paved or concrete surface. Fire Code 503.2.3
5. Fire Apparatus Access Roads shall be identified with approved signs. Temporary signs shall be installed at each street intersection when construction of new roadways allows passage by vehicles. Signs shall be of an approved size, weather resistant and be maintained until replaced by permanent signs. Fire Code 505



COUNTY OF LOS ANGELES FIRE DEPARTMENT FIRE PREVENTION DIVISION

Land Development Unit
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Telephone (323) 890-4243, Fax (323) 890-9783

PROJECT:	TR 77198	MAP DATE:	September 28, 2017
ADDRESS:	9958 Artesia Blvd	Planner:	Jason P. Clarke
City:	Bellflower		
Inspector:	Nancy Rodeheffer FPEA II	Report Date:	January 19, 2018

WATER SYSTEM REQUIREMENTS

1. The required fire flow for fire hydrants at this location is **2000 gpm**, at 20 psi residual pressure, for a duration of 2 hours over and above the maximum daily domestic demand. Fire Code 507.3 and Appendix B105.1 Appendix B.
The fire flow requirements shall be re-calculated upon receipt and review of the revised site plan indicating the square footage per building (not per product type) and construction type of proposed structures.
2. All fire hydrants shall measure 6"x 4"x 2-1/2" brass or bronze, conforming to current AWWA standard C503 or approved equal, and shall be installed in accordance with the Fire Code 501.4
All required PUBLIC fire hydrants shall be installed, tested and accepted prior to beginning construction. Fire Code 501.4
3. Install two new public fire hydrants on Artesia Boulevard as indicated on the mark up Tentative Map/Fire Access Plan.
The fire hydrant requirements for this project are as follows:
Install **2** PUBLIC fire hydrant(s).
Three copies of water improvement plans for the required public fire hydrant shall be submitted through the local water purveyor that serves the property for review and approval prior to installation.
4. An approved automatic fire sprinkler system is required for the proposed buildings within this development. Submit design plans to the Fire Department Sprinkler Plan Check Unit for review and approval prior to installation.
5. All required public fire hydrants shall be installed, tested and accepted prior to beginning construction. Fire Code 501.4



**COUNTY OF LOS ANGELES FIRE DEPARTMENT
FIRE PREVENTION DIVISION**

Land Development Unit
5823 Rickenbacker Road
Commerce, CA 90040
Telephone (323) 890-4243, Fax (323) 890-9783

PROJECT:	TR 77198	MAP DATE:	September 28, 2017
ADDRESS:	9958 Artesia Blvd	Planner:	Jason P. Clarke
City:	Bellflower		
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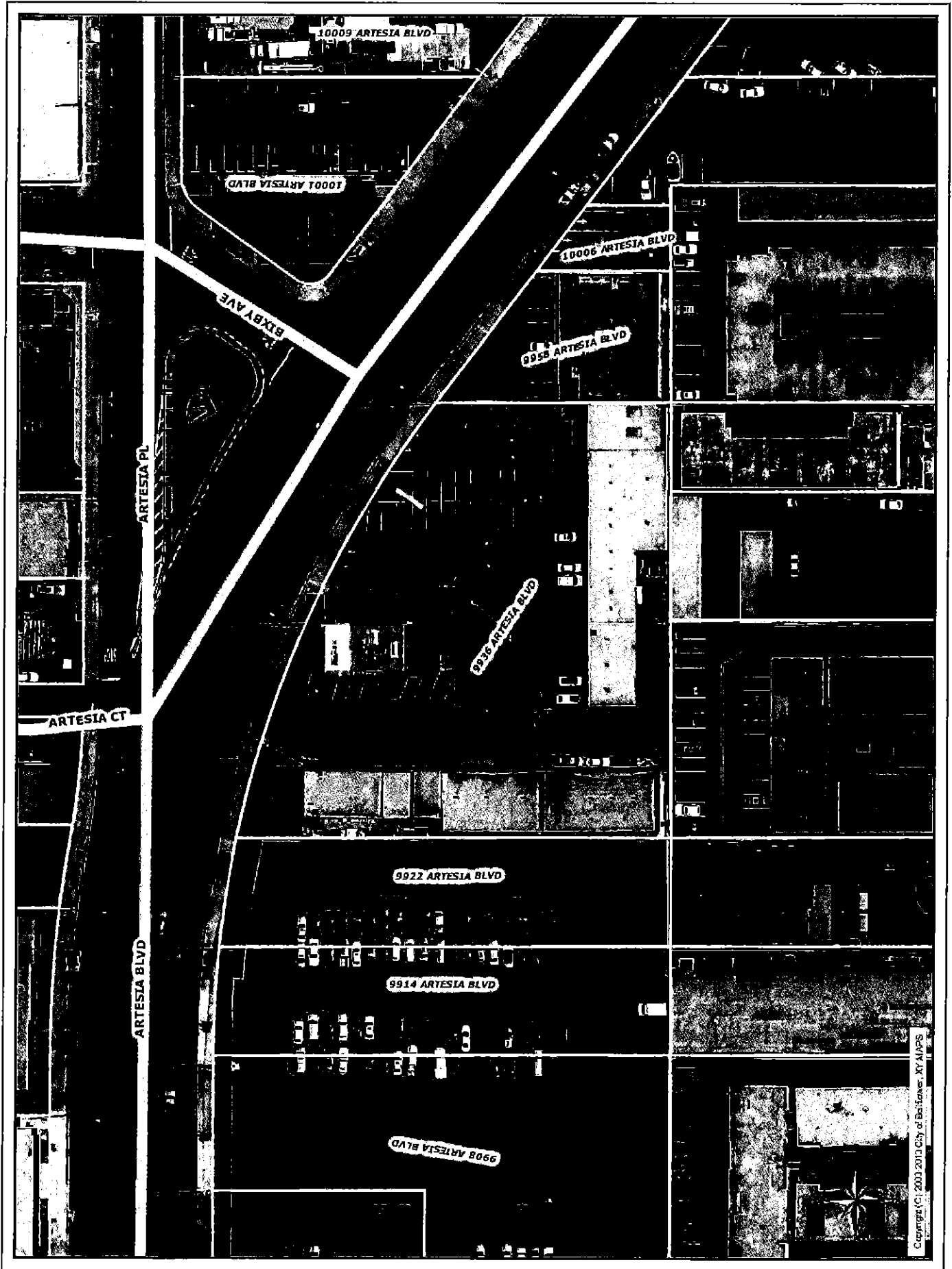
FINAL MAP REQUIREMENTS

1. Submit 3 copies of the final map for review and approval prior to recordation
2. Provide proof of financial obligation for the installation of the required public fire hydrants prior to final map clearance.
3. Access as noted on the Tentative and the Exhibit Maps shall comply with Title 21 (County of Los Angeles Subdivision Code) and Section 503 of the Title 32 (County of Los Angeles Fire Code), which requires all weather access.

Additional Fire Department requirements will be determined at the Building Plan Check review.

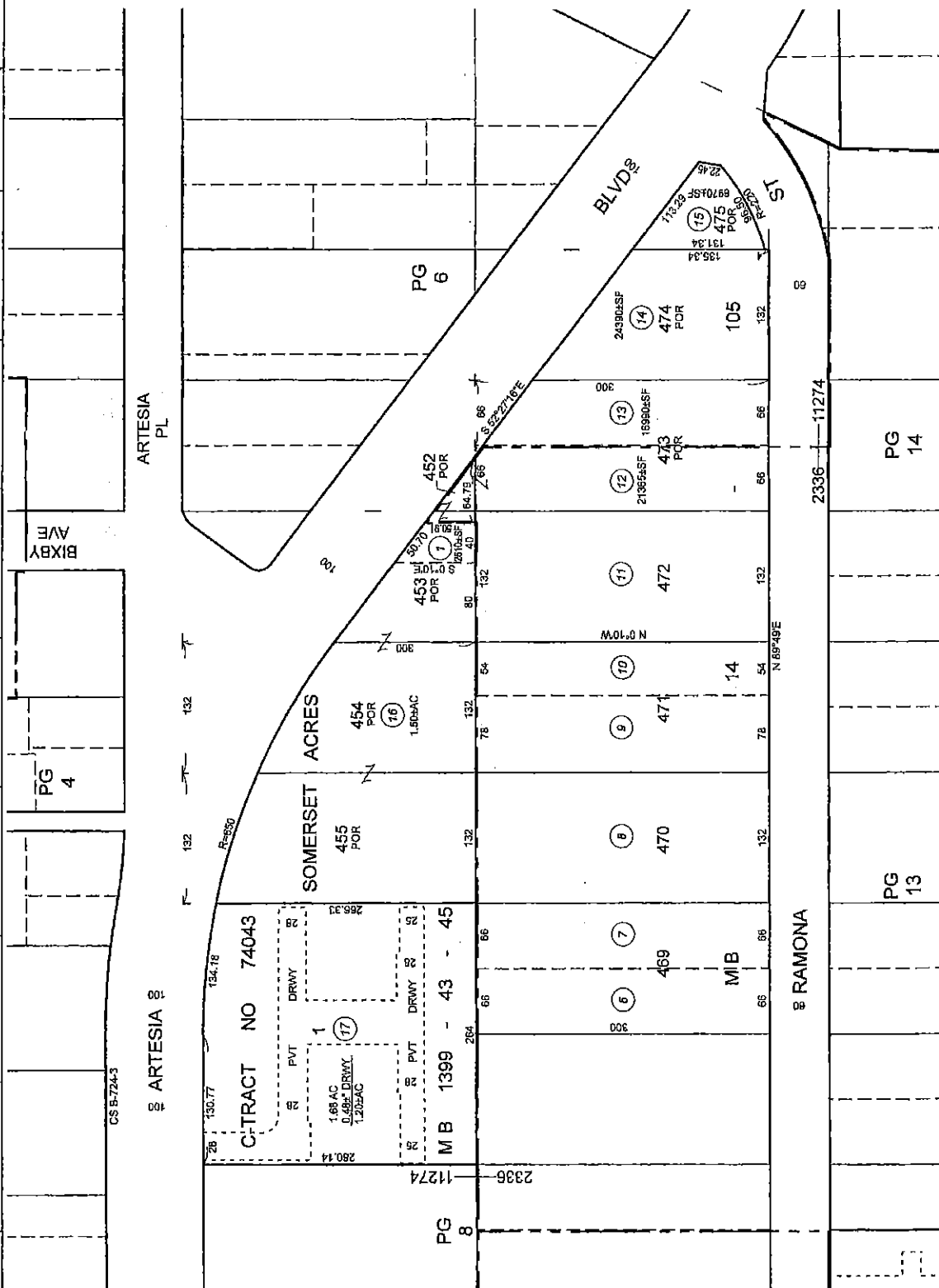
For any questions regarding this report, please contact the County of Los Angeles Fire Department Fire Prevention Land Development Unit, Nancy Rodeheffer FPEA II at (323) 890-4243 or at .

Attachment E
**Aerial, Assessor's Map, Zoning Map & Land
Use Map**

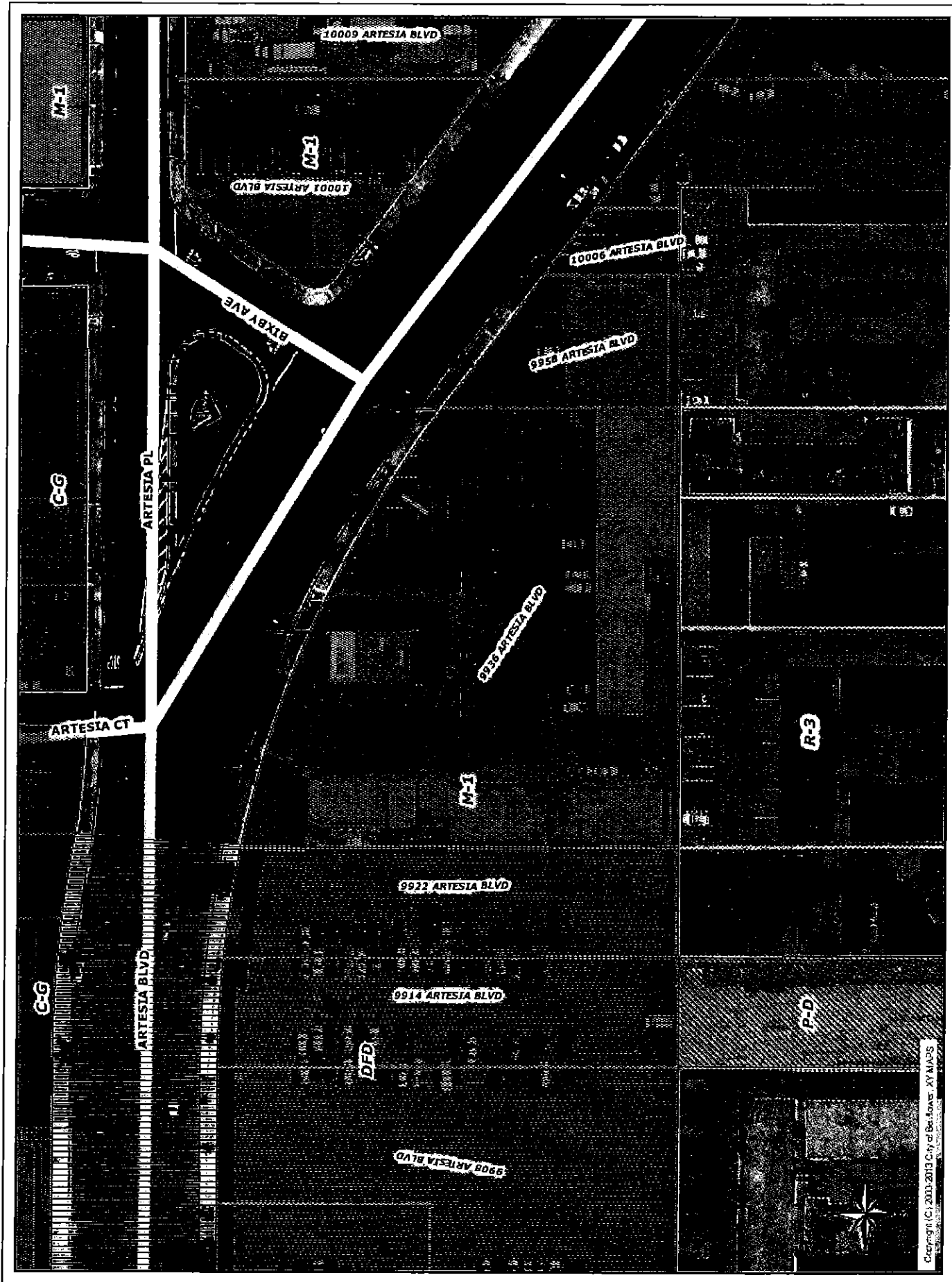


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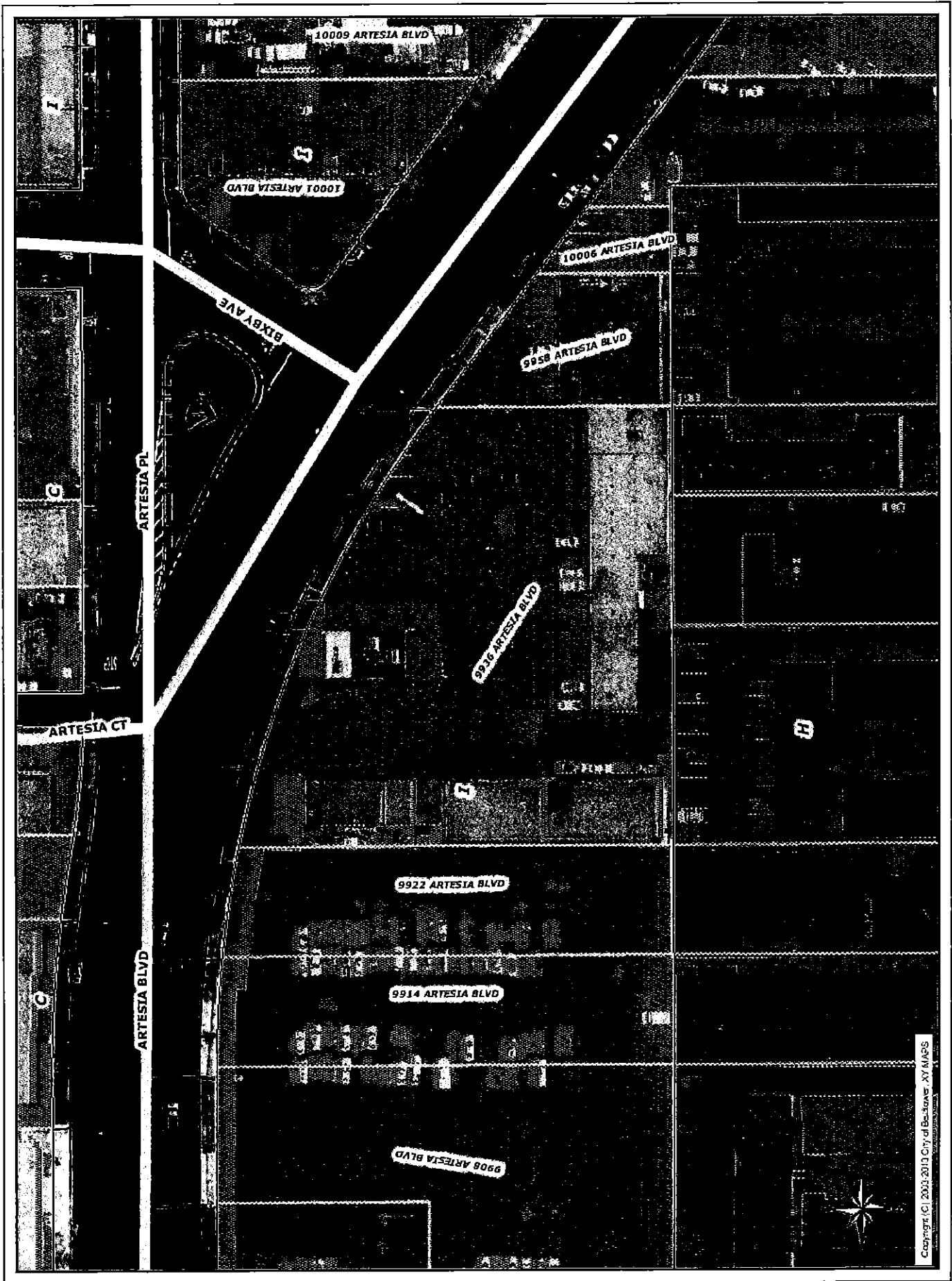
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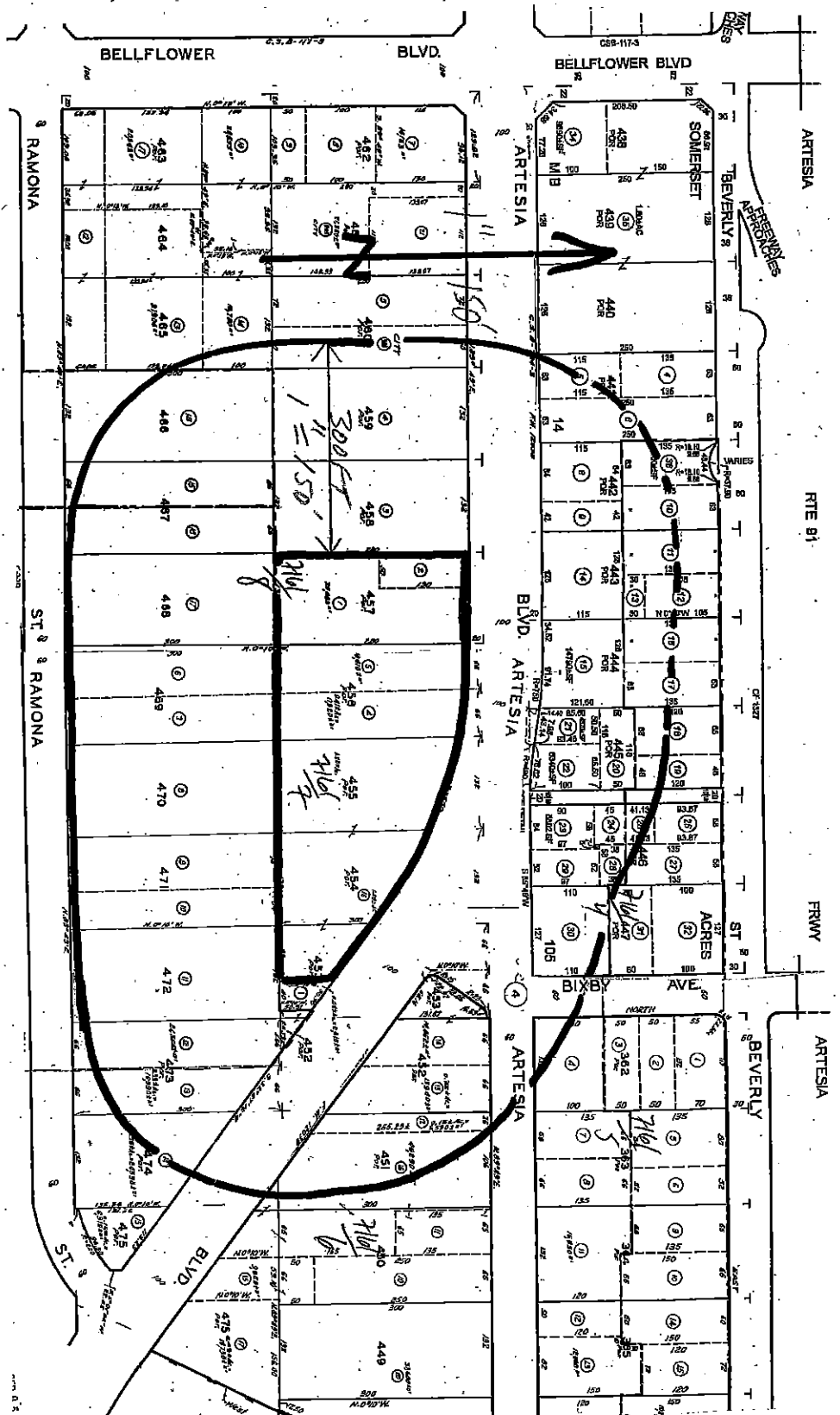
MAPPING AND GIS
SERVICES
SCALE 1" = 100'



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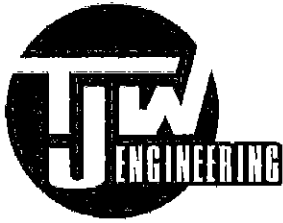


Attachment F
300' Radius Map



Attachment G

Shared Parking Study



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Irvine, CA 92618
T: (949) 878-3509 F: (949) 878-3593
www.tjwengineering.com

TECHNICAL MEMORANDUM

To: Jerry Stock, City Engineer
City of Bellflower

From: Thomas J. Wheat, PE, TE
Jeffrey Weckstein
TJW Engineering

Date: December 8, 2017

Subject: Bellflower 4 Project – Shared Parking Analysis

TJW ENGINEERING, INC. (TJW) is pleased to submit this shared parking analysis for the proposed Bellflower 4 mixed-use project located in the City of Bellflower. This parking analysis has been prepared to understand, from a parking demand perspective, what configurations and uses in the commercial space can be accommodated by the proposed parking supply for the proposed project.

Proposed Project Land Use & Proposed Parking

The proposed project consists of 28 townhomes and 1 flat over commercial space. The flat consists of approximately 2,123± square feet of living space (2-bedroom + den/optional 3rd bedroom, 2-bathroom unit), with approximately 1603± square feet of commercial space on the ground floor. The 28 townhomes range in size from approximately 1,542 square feet to 1,869 square feet and are all 3 bedroom 2.5 bathroom units.

The project proposes 75 parking spaces consisting of the following:

- 29 2-car garages for the living space;
- 17 open parking spaces (fourteen head-in, three parallel) for residential guests and customers/ employees of the commercial space.

Urban Land Institute (ULI) Shared Parking Methodology

The Urban Land Institute released its second version of the shared parking model in 2005. The principal behind shared parking is that when different land uses have different peak periods of parking demand, they may be able to share a single pool of parking containing less parking than if each use had to provide enough parking to satisfy its peak parking demand separately. The classic example of shared parking is an office building and a movie theatre. The office building is primarily a daytime use, while a movie theatre peaks on nights and weekends. In the case of the Bellflower 4 project commercial space, residential guest parking demand peaks in the early evening, while the anticipated commercial uses may peak earlier in the day. The shared parking model can also include adjustments for mode splits (taking transit, biking or walking to a site) and internal trip capture (one land use on a site serving another).

The shared parking model incorporates ULI base parking ratios for various land uses, based on years of research into parking demand by ULI and its members, as well as seasonal and time of day factors to determine projected parking demand for each hour of the day and month of the year to determine when peak parking demand occurs.

Shared Parking Analysis

Since the dwelling units and commercial space are neither constructed nor sold yet, it cannot be predicted with certainty, what types of uses will occupy the commercial portion of the project. In a typical live/work situation with a single owner of the unit, the work space is typically a home office or small business for things like finance professionals (accountants, financial planners, insurance agents, etc.), photographers, artists and consultants. Additionally the size of the proposed work units (1,603 square feet), preclude uses like, convenience stores, national retail chains and fitness centers. However, the unit is being designed so that the commercial space may be sold separately from the residential space; in this scenario the commercial space and residential flats may be completely separate.

Based on this information, shared parking analysis has been prepared for the following four (4) potential land use scenarios as it related to the commercial space of the project:

- Scenario 1 – The Bellflower 4 commercial space is owned separately from the flats above and is utilized by business professionals or artists (accountants, financial planners, insurance agents, artists, photographers, consulting professionals).
- Scenario 2 – The Bellflower 4 commercial space is owned separately from the flats above and is utilized by retail businesses.
- Scenario 3 – Analyzes Bellflower 3 (32 dwelling units, 3,600 square feet of commercial) together with Bellflower 4 (29 dwelling units, 1,603 square feet of commercial).
 - Assumes 1,800 square foot restaurant and 1,800 square foot office in Bellflower 3 commercial
 - Assumes 1,603 square foot office in Bellflower 4 commercial
- Scenario 4 – Analyzes Bellflower 3 (32 dwelling units, 3,600 square feet of commercial) together with Bellflower 4 (29 dwelling units, 1,603 square feet of commercial).

- Assumes 1,800 square foot restaurant and 1,800 square foot retail in Bellflower 3 commercial
- Assumes 1,603 square foot office in Bellflower 4 commercial

Scenario 1

Scenario 1 assumes the following land uses for Bellflower 4:

- 29 dwelling units
- 1,603 square feet of office space.

Table 1 shows the base parking ratios from the ULI shared parking model, as well as the maximum parking required, prior to the application of shared parking principles, for the Scenario 1 land uses. Maximum parking is the amount of parking that would be needed if each land use was separate and had its own standalone parking area.

Table 1
Scenario 1 Base Parking Ratios and Maximum Parking

	Quantity	Weekdays			Weekend		
		Base Ratio	Unit	Max Spaces	Base Ratio	Unit	Max Spaces
Residential, Owned, Shared Spaces	29	0.00	/unit	0	0.00	/unit	0
Reserved	29	2.0	/unit	58	2.0	/unit	58
Guest	29	0.15	/unit	4	0.15	/unit	4
Office <25 ksf	1,603	0.30	/ksf GLA	0	0.03	/ksf GLA	0
Employee		3.50	/ksf GLA	6	0.35	/ksf GLA	1
Subtotal Customer/Guest Spaces				4			4
Subtotal Employee/Resident Spaces				6			1
Subtotal Reserved Spaces				58			58
Total Parking Spaces				68			63

Source: ULI Shared Parking Model, TJW Engineering

As shown in **Table 1**, based on the base parking ratios, the maximum parking needed for Scenario 1 is 68 parking spaces on weekdays and 63 parking spaces on weekends.

Table 2 shows the projected weekday peak parking demand for Scenario 1 after application of the ULI shared parking model.

Land Use	Project Data		Base Rate	Mode Adj	Non-Captive Ratio	Project Rate		Peak Hr Adj	Peak Mo Adj	Estimated Parking Demand
	Quantity	Unit					Unit	9 AM	January	
Residential, Owned, Shared Spaces	29	units	0.00	1.00	1.00	0.00	/unit	0.80	1.00	0
Reserved	2	sp/unit	2.00	1.00	1.00	2.00	/unit	1.00	1.00	58
Guest	29	units	0.15	1.00	1.00	0.15	/unit	0.20	1.00	1
Office <25 ksf	1,603	sf GLA	0.30	1.00	1.00	0.30	/unit	0.60	1.00	0
Source: ULI Shared Parking Model, TJW Engineering								Customer		1
								Employee		6
								Reserved		58
								Total		65

Land Use	Project Data		Base Rate	Mode Adj	Non-Captive Ratio	Project Rate	Unit	Peak Hr	Peak Mo	Estimated
	Quantity	Unit						Adj	7 PM	January
Residential, Owned, Shared Spaces	29	units	0.00	1.00	1.00	0.00	/unit	0.97	1.00	0
Reserved	2	sp/unit	2.00	1.00	1.00	2.00	/unit	1.00	1.00	58
Guest	29	units	0.15	1.00	1.00	0.00	/unit	1.00	1.00	4
Office <25 ksf	1,603	sf GLA	0.03	1.00	1.00	0.03	/unit	0.00	1.00	0
Source: ULI Shared Parking Model, TJW Engineering								Customer		4
								Employee		0
								Reserved		58
								Total		62

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Table 4
Scenario 2 Base Parking Ratios and Maximum Parking

Maximum Parking							
		Weekdays			Weekend		
	Quantity	Base Ratio	Unit	Max Spaces	Base Ratio	Unit	Max Spaces
Retail	1,603	2.90	/ksf GLA	5	3.20	/ksf GLA	5
Employee		0.70	/ksf GLA	1	0.80	/ksf GLA	1
Residential, Owned, Shared Spaces	29	0.00	/unit	0	0.00	/unit	0
Reserved	29	2.0	/unit	58	2.0	/unit	58
Guest	29	0.15	/unit	4	0.15	/unit	4
Subtotal Customer/Guest Spaces				9			9
Subtotal Employee/Resident Spaces				1			1
Subtotal Reserved Spaces				58			58
Total Parking Spaces				68			68

Source: ULI Shared Parking Model, TJW Engineering

As shown in **Table 4**, based on the base parking ratios, the maximum parking needed for Scenario 2 is 68 parking spaces on weekdays and 68 parking spaces on weekends.

Table 5 shows the projected weekday peak parking demand for Scenario 2 after application of the ULI shared parking model.

Table 5
Scenario 2 Projected Weekday Peak Parking Demand

Land Use	Project Data	Base Ratio	Model Adj	Non-Captive Ratio	Project Rate	Unit	Peak H Adj	Peak M Adj	Estimated Parking Demand
	Quantity	Rate	Adj	Ratio	Rate		7 PM	December	
Retail	1,603 sf GLA	2.90	1.00	1.00	2.90	/ksf GLA	0.75	1.00	4
Employee		0.70	1.00	1.00	0.70	/ksf GLA	0.95	1.00	1
Residential, Owned, Shared Spaces	29 units	0.00	1.00	1.00	0.00	/unit	0.97	1.00	0
Reserved	2 sp/unit	2.00	1.00	1.00	2.00	/unit	1.00	1.00	58
Guest	29 units	0.15	1.00	1.00	0.15	/unit	1.00	1.00	4
Customer									8
Employee									1
Reserved									58
Total									67

Source: ULI Shared Parking Model, TJW Engineering

Shared Parking Reduction 1%

As shown in **Table 5**, the projected weekday peak parking demand for the proposed project in Scenario 2 is 67 parking spaces. Since the proposed is providing 75 parking spaces, there is adequate supply to meet demand for the peak weekday period.

Table 6 shows the projected weekend peak parking demand for Scenario 2 after application of the ULI shared parking model.

Land Use	Project Data		Base	Mode	Non-Captive	Project	Unit	Peak Hr	Peak Mo	Estimated Parking Demand
	Quantity	Unit	Rate	Adj	Ratio	Rate		Adj	December	
Retail	1,603	sf GLA	3.20	1.00	1.00	3.20	/ksf GLA	0.75	1.00	4
Employee			0.80	1.00	1.00	0.80	/ksf GLA	0.80	1.00	1
Residential, Owned, Shared Spaces	29	units	0.00	1.00	1.00	0.00	/unit	0.97	1.00	0
Reserved	2	sp/unit	2.00	1.00	1.00	2.00	/unit	1.00	1.00	58
Guest	29	units	0.15	1.00	1.00	0.00	/unit	1.00	1.00	4
Source: UII Shared Parking Model, T/W Engineering								Customer	8	
								Employee	1	
								Reserved	58	
								Total	67	

1%

Scenario 3

Scenario 3 assumes the following land uses:

- 32 dwelling units
- 1,800 square feet of restaurant space
- 1,800 square feet of office space

- 29 dwelling units
- 1,603 square feet of office space

TJW Engineering, Inc.
CVR 17004 Bellflower 4 Parking Study

Table 7
Scenario 3 Base Parking Ratios and Maximum Parking

Maximum Parking							
		Weekdays			Weekend		
	Quantity	Base Ratio	Unit	Max Spaces	Base Ratio	Unit	Max Spaces
Family Restaurant	1,800	9.00	/ksf GLA	16	12.75	/ksf GLA	23
Employee		1.50	/ksf GLA	3	2.25	/ksf GLA	4
Residential, Owned, Shared Spaces	61	0.00	/unit	0	0.00	/unit	0
Reserved	61	2.0	/unit	122	2.0	/unit	122
Guest	61	0.15	/unit	9	0.15	/unit	9
Office <25 ksf	3,403	0.30	/ksf GLA	1	0.03	/ksf GLA	0
Employee		3.50	/ksf GLA	12	0.35	/ksf GLA	1
Subtotal Customer/Guest Spaces				26			32
Subtotal Employee/Resident Spaces				15			5
Subtotal Reserved Spaces				122			122
Total Parking Spaces				163			159

Source: ULI Shared Parking Model, TJW Engineering

As shown in **Table 7**, based on the base parking ratios, the maximum parking needed for Scenario 3 is 163 parking spaces on weekdays and 159 parking spaces on weekends.

Table 8 shows the projected weekday peak parking demand for Scenario 3 after application of the ULI shared parking model.

Table 8
Scenario 3 Projected Weekday Peak Parking Demand

Land Use	Project Data Quantity Unit	Base Ratio	Mode Adj.	Non- Capture Ratio	Project Rate	Unit	Peak Hr Adj. 12 PM	Peak Mo Adj. July	Estimated Parking Demand
Family Restaurant	1,800 sf GLA	9.00	1.00	1.00	9.00	/ksf GLA	1.00	0.98	16
Employee		1.50	1.00	1.00	1.50	/ksf GLA	1.00	1.00	3
Residential, Owned, Shared Spaces	61 units	0.00	1.00	1.00	0.00	/unit	0.65	1.00	0
Reserved	2 sp/unit	2.00	1.00	1.00	2.00	/unit	1.00	1.00	122
Guest	61 units	0.15	1.00	1.00	0.15	/unit	0.20	1.00	2
Office <25 ksf	3,403 sf GLA	0.30	1.00	1.00	0.30	/unit	0.15	0.95	0
Employee		3.50	1.00	0.75	2.63	/unit	0.90	0.95	8
Customer									18
Employee									11
Reserved									122
Total									151

Source: ULI Shared Parking Model, TJW Engineering

Shared Parking Reduction 12%

As shown in **Table 8**, the projected weekday peak parking demand for Bellflower 3 and Bellflower 4 in Scenario 3 is 151 parking spaces. Since Bellflower 3 and Bellflower 4 will provide 155 parking spaces combined, there is adequate supply to meet demand for the peak weekday period.

Table 9 shows the projected weekend peak parking demand for Scenario 3 after application of the ULI shared parking model.

Land Use	Project Data Quantity	Unit	Base Rate	Mode Adj	Non- Captive Ratio	Project Rate	Unit	Peak Hr Adj	Peak Mo Adj	Estimated Parking Demand
								12 PM	July	
Family Restaurant	1,800	sf GLA	12.75	1.00	1.00	12.75	/ksf GLA	1.00	0.98	23
Employee			2.25	1.00	1.00	2.25	/ksf GLA	1.00	1.00	4
Residential, Owned, Shared Spaces	61	units	0.00	1.00	1.00	0.00	/unit	0.65	1.00	0
Reserved	2	sp/unit	2.00	1.00	1.00	2.00	/unit	1.00	1.00	122
Guest	61	units	0.15	1.00	1.00	0.00	/unit	0.20	1.00	2
Office <25 ksf	3,403	sf GLA	0.03	1.00	1.00	0.03	/unit	0.90	0.95	0
Employee			0.35	1.00	0.75	0.26	/unit	0.90	0.95	1
Source: ULI Shared Parking Model, TJW Engineering								Customer		25
								Employee		5
								Reserved		122
								Total		152

Shared Parking Reduction	11%
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Scenario 4

Scenario 4 assumes the following land uses:

- 32 dwelling units
- 1,800 square feet of restaurant space
- 1,800 square feet of retail space

- 29 dwelling units
- 1,603 square feet of office space

Table 10 shows the base parking ratios from the ULI shared parking model, as well as the maximum parking required, prior to the application of shared parking principles, for the Scenario 4 land uses. Maximum parking is the amount of parking that would be needed if each land use was separate and had its own standalone parking area.

Table 10
Scenario 4 Base Parking Ratios and Maximum Parking

Maximum Parking							
		Weekdays			Weekend		
	Quantity	Base Ratio	Unit	Max Spaces	Base Ratio	Unit	Max Spaces
Retail	1,800	2.90	/ksf GLA	5	3.20	/ksf GLA	6
Employee		0.70	/ksf GLA	1	0.80	/ksf GLA	1
Family Restaurant	1,800	9.00	/ksf GLA	16	12.75	/ksf GLA	23
Employee		1.50	/ksf GLA	3	2.25	/ksf GLA	4
Residential, Owned, Shared Spaces	61	0.00	/unit	0	0.00	/unit	0
Reserved	61	2.0	/unit	122	2.0	/unit	122
Guest	61	0.15	/unit	9	0.15	/unit	9
Office <25 ksf	1,603	0.30	/ksf GLA	0	0.03	/ksf GLA	0
Employee		3.50	/ksf GLA	6	0.35	/ksf GLA	1
Subtotal Customer/Guest Spaces				30			38
Subtotal Employee/Resident Spaces				10			6
Subtotal Reserved Spaces				122			122
Total Parking Spaces				162			166

Source: ULI Shared Parking Model, TJW Engineering

As shown in **Table 7**, based on the base parking ratios, the maximum parking needed for Scenario 4 is 162 parking spaces on weekdays and 166 parking spaces on weekends.

Table 11 shows the projected weekday peak parking demand for Scenario 4 after application of the ULI shared parking model.

Table 11
Scenario 4 Projected Weekday Peak Parking Demand

Land Use	Project Data Quantity	Unit	Base Ratio	Mode Adj	Non- Captive Ratio	Project Ratio	Unit	Peak Hr Adj 11:12 PM	Peak Mo Adj December	Estimated Parking Demand
Retail	1,800	sf GLA	2.90	1.00	1.00	2.90	/ksf GLA	0.90	1.00	5
Employee			0.70	1.00	1.00	0.70	/ksf GLA	1.00	1.00	1
Family Restaurant	1,800	sf GLA	9.00	1.00	0.90	8.10	/ksf GLA	1.00	1.00	14
Employee			1.50	0.80	1.00	1.20	/ksf GLA	1.00	1.00	2
Residential, Owned, Shared Spaces	61	units	0.00	1.00	1.00	0.00	/unit	0.65	1.00	0
Reserved	2	sp/unit	2.00	1.00	1.00	2.00	/unit	1.00	1.00	122
Guest	61	units	0.15	1.00	1.00	0.15	/unit	0.20	1.00	2
Office <25 ksf	1,603	sf GLA	0.30	1.00	1.00	0.30	/unit	0.15	1.00	0
								Customer		21
								Employee		7
								Reserved		122
								Total		150

Source: ULI Shared Parking Model, TJW Engineering

Shared Parking Reduction 12%

As shown in **Table 11**, the projected weekday peak parking demand for Bellflower 3 and Bellflower 4 in Scenario 4 is 150 parking spaces. Since Bellflower 3 and Bellflower 4 will provide 155 parking spaces combined, there is adequate supply to meet demand for the peak weekday period.

Table 12 shows the projected weekend peak parking demand for Scenario 4 after application of the ULI shared parking model.

Table 12
Scenario 4 Projected Weekend Peak Parking Demand

Land Use	Project Data Quantity	Unit	Base Rate	Mode Adj.	Non- Captive Ratio	Project Rate	Unit	Peak Hr Adj.	Peak Mo Adj.	Estimated Parking Demand
Retail	1,800	sf GLA	3.20	1.00	1.00	3.20	/ksf GLA	0.85	1.00	5
Employee			0.80	1.00	1.00	0.80	/ksf GLA	1.00	1.00	1
Family Restaurant	1,800	sf GLA	12.75	1.00	0.90	11.48	/ksf GLA	1.00	1.00	21
Employee			2.25	0.80	1.00	1.80	/ksf GLA	1.00	1.00	3
Residential, Owned, Shared Spaces	61	units	0.00	1.00	1.00	0.00	/unit	0.65	1.00	0
Reserved	2	sp/unit	2.00	1.00	1.00	2.00	/unit	1.00	1.00	122
Guest	61	units	0.15	1.00	1.00	0.00	/unit	0.20	1.00	2
Office <25 ksf	1,603	sf GLA	0.03	1.00	1.00	0.03	/unit	0.90	1.00	0
Source: ULI Shared Parking Model, TJW Engineering									Customer	28
									Employee	5
									Reserved	122
									Total	155

Shared Parking Reduction

9%

As shown in **Table 12**, the projected weekend peak parking demand for Bellflower 3 and Bellflower 4 in Scenario 4 is 155 parking spaces. Since Bellflower 3 and Bellflower 4 will provide 155 parking spaces combined, there is adequate supply to meet demand for the peak weekend period.

Conclusions & Recommendations

This parking analysis studied four different land use scenarios for the proposed commercial portion of the Bellflower 4 project; two scenarios assuming Bellflower 4 is a standalone project, and two scenarios assuming Bellflower 4 will have a shared parking agreement with the Bellflower 3 project immediately adjacent to the project site.

Of the 75 parking spaces provided within Bellflower 4, 58 would be dedicated to the 29 dwelling units in the form of 2-car garages, leaving 17 parking spaces for employees of the commercial space, customers, and guests.

Based on the four analysis scenarios, the proposed parking supply is projected to adequately satisfy peak parking demand under certain conditions. Even with the commercial space separate from the residential space in the mixed use buildings, the proposed parking supply is adequate to meet projected peak parking demand based on the results of the ULI Shared Parking Model if the commercial space is occupied by office uses (finance and insurance professionals, art and photography studios), retail uses, or a mix of office, retail and restaurant uses.

Table 13 summarizes the ranges of land uses that are projected to fit, from a parking perspective, in the Bellflower 4 commercial space as a standalone project, and the ranges of land that are projected to fit, from a parking perspective, if Bellflower 3 and Bellflower 4 are combined and share parking.

Table 13
Potential Commercial Space Tenancy
Based on Available Parking Supply

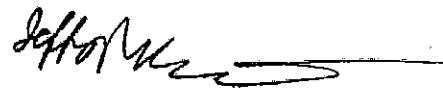
Bellflower 4 Standalone (1,603 sf of commercial space)	
Use	Quantity
Retail	0-1,603 square feet
Office	0-1,603 square feet
Restaurant	None
Bellflower 3 and 4 Combined (5,203 sf of commercial space)	
Use	Quantity
Retail	0-1,800 square feet
Office	1,700-5,203 square feet
Restaurant	0-1,800 square feet

Please feel free to call us at (949) 878-3509 if you have any questions regarding this analysis.

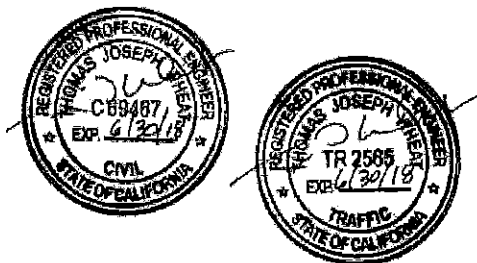
Sincerely,

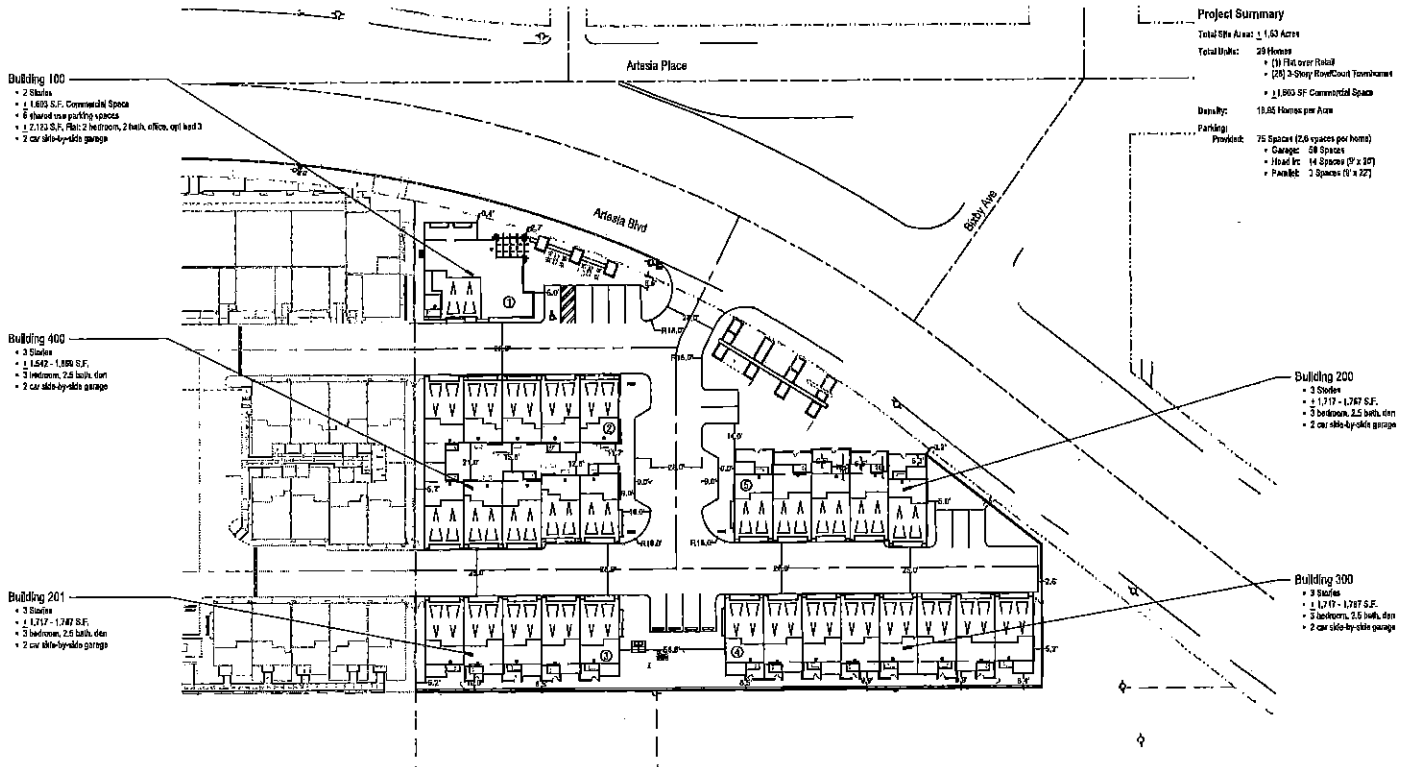


Thomas Wheat, PE, TE
Principal
TJW Engineering, Inc.
Registered Civil Engineer #69467
Registered Traffic Engineer #2565



Jeffrey Weckstein
Transportation Planner
TJW Engineering, Inc.





Notes:

1. See also the attached parking lot.
2. See also the attached site plan for the site.
3. See also the attached site plan for the site.
4. See also the attached site plan for the site.
5. See also the attached site plan for the site.
6. See also the attached site plan for the site.
7. See also the attached site plan for the site.
8. See also the attached site plan for the site.
9. See also the attached site plan for the site.
10. See also the attached site plan for the site.



WHA.

WHEELER WATSON & ASSOCIATES, INC.

City Ventures

BELLFLOWER 4

BELLFLOWER, CA

CONCEPTUAL SITE PLAN

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Attachment H
**Variance Case No. V 11-05 (Staff Report
and Resolution)**



staff report

TO: Honorable Chairman and Members of the Planning Commission

ATTENTION: Brian K. Lee, Director of Community Development

FROM: Jason P. Clarke, Associate Planner

SUBJECT: A Public Hearing to Consider an Application from Larry Van Otterloo for a Variance to Reduce the Number of Required Off-Street Parking Spaces Pursuant to the Bellflower Municipal Code Chapter 17.88 within the M-1 (Light Industrial) District on Property Located at 9958 Artesia Boulevard

RESOLUTION NO. PC 11-31 - A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BELLFLOWER APPROVING VARIANCE CASE NO. V 11-05 TO ALLOW THREE (3) OFF-STREET PARKING SPACES INSTEAD OF THE MINIMUM SIXTEEN (16) OFF-STREET PARKING SPACES REQUIRED BY THE BELLFLOWER MUNICIPAL CODE CHAPTER 17.88 WITHIN THE M-1 (LIGHT INDUSTRIAL) DISTRICT ON PROPERTY LOCATED AT 9958 ARTESIA BOULEVARD; APPLICANT: LARRY VAN OTTERLOO

DATE: December 19, 2011

CEQA STATUS: The project has been determined to be Categorically Exempt (Article 19, Section 15304, Class 4) from the provisions of the California Environmental Quality Act (CEQA).

PUBLIC NOTICE: A Notice of Public Hearing was published in the Press Telegram newspaper on December 9, 2011. On December 8, 2011, Public hearing notices were sent to 42 property owners within a 300' radius of the subject site. A public poster was posted on the property on Friday, December 9, 2011.

RECOMMENDATION

That the Planning Commission adopt Resolution No. PC 11-31, approving Variance Case No. V 11-05.

PROJECT DATA

Applicant: Mr. Larry Van Otterloo
9940 Artesia Boulevard
Bellflower, CA 90706

Property Owners: Henry P & Anna Tiemeyer Trust
16103 Virginia Avenue
Bellflower, CA 90706

Gordon Tiemeyer
308 Hawley Street
Lynden, WA 98264

Project Location: 9958 Artesia Boulevard (APN: 7161-007-002)

Property Size: 8,710 square feet

General Plan Designation: "I – Industrial"

Zoning Designation: M-1 (Light Industrial)

Existing Land Use: Commercial Shopping Strip

Redevelopment Area: Yes

Surrounding Zones/ Land Uses:

- North:** C-G (General Commercial); Residential
- South:** R-3 (Multiple Residential); Apartments
- West:** M-1 (Light Industrial); Auto Repair Center
- East:** M-1 (Light Industrial); Auto Repair Shop

BACKGROUND

• ***Existing Site Description (9958 Artesia Blvd.)***

The subject property is located on the south side of Artesia Boulevard, between Bellflower Boulevard and Bixby Avenue. The lot is irregular in shape and relatively flat in topography. The subject property is currently developed with a 4-tenant commercial building measuring 4,860 square feet. Currently, there are two (2) active businesses on-site and the other tenant spaces are vacant. The site is currently developed with eight (8) parking spaces, all of which are nonconforming in size. In addition, the number of off-street parking spaces provided on the subject property does not meet the minimum parking requirement. For example, four (4) of the parking spaces do not provide the minimum required 24-foot back-out distance for vehicles. Additionally, those parking spaces do not have the minimum

required dimension of 9' by 20'. The existing parking layout is illustrated in Attachment E.

- ***Project Description and Project Plan***

9958 Artesia Boulevard - The proposed project involves maintenance of the site, which includes asphalt removal and replacement, new slurry seal and parking re-striping. The proposed re-striping layout includes four (4) standard parking spaces; however, only three (3) of the spaces comply with current zoning code. The proposed parking layout is illustrated in Attachment F.

9936 Artesia Boulevard – The Property Owners of the subject property also owns this adjoining lot to the west with shared access to the subject property; both lots are proposed to be improved. Thus, the submitted plans illustrate the two (2) separate parcels that will be upgraded (i.e. removal of asphalt, slurry and re-stripe) by the Property Owners. However, this property is not part of the Variance request and is only mentioned for reference only. The proposed re-striping layout for this lot includes 54 parking spaces, three (3) of which are handicapped accessible; however, only 50 of the spaces comply with current zoning code.

DISCUSSION

- ***Variance Request***

9958 Artesia Boulevard - Pursuant to BMC Chapter 17.100, a Variance is being requested to reduce the number of required parking spaces on the lot. The Variance is necessary because the maintenance work is triggering code compliant parking space. The existing parking layout is noncompliant and has been subject to abatement since 2002. Based on current parking standards, sixteen (16) parking spaces are required for the subject property. The irregular configuration and limited lot size of the subject property cannot accommodate this required number of parking spaces. To comply with all parking and circulation requirements of the code, only three (3) spaces can be provided on-site. Approval of this Variance request will allow the Property Owners to reduce the number of required parking spaces by 13. The Applicant's plan inaccurately illustrates 4 parking spaces that are noncompliant; it will need to be revised to reflect three (3) compliant parking spaces as observed during Staff's site visit. Therefore, the request is for a Variance to allow for three (3) parking spaces instead of the required sixteen (16) off-street parking spaces. A condition of approval has been added requiring that the plans be revised prior to obtaining a permit for the site improvements. In addition, a separate condition of approval has been added requiring that the open area to the right of the parking spaces be striped as a "No Parking" area.

- ***Approved Minor Modification (MDV)***

9936 Artesia Boulevard – As stated previously, the Property Owners are also proposing the same site maintenance work (i.e. asphalt removal and replacement, new slurry seal and parking re-striping) on the adjacent westerly property. The site is currently developed with 32 parking spaces. Based on the correct square footage of the buildings on the site (i.e., 16,441

square feet) and the zoning code, 55 parking spaces are required for this parcel.

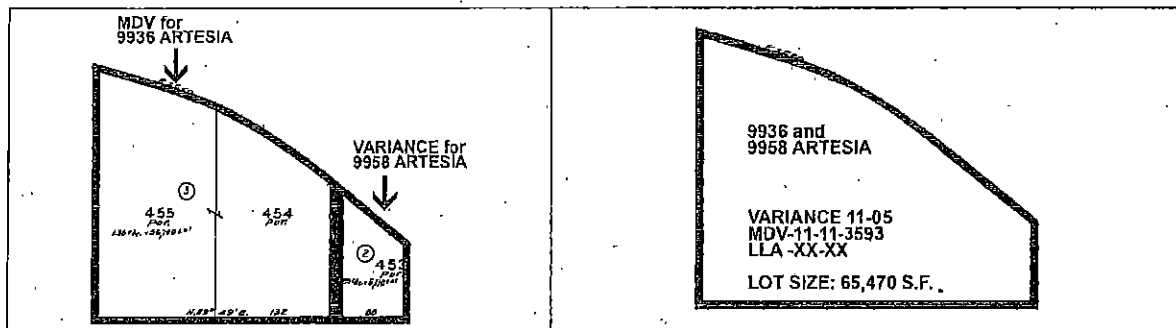
Pursuant to BMC section, 17.100.080, in any zone, a decrease in the number of required parking spaces of not more than ten percent (10%) is allowed when the total required spaces are at least twenty (20) spaces. A Minor Modification application has been submitted and approved by Staff on December 16, 2011, subject to conditions of approval. The Minor Modification reduces the number of required parking spaces by 10%, allowing for 50 parking spaces instead of 55. This process is necessary; otherwise, the Applicant would need to apply for a Variance for this lot as well or leave the property in disrepair. As part of the conditions of approval for the Minor Modification, the site plan will need to be revised to address several inconsistencies with the layout, provide the correct number of parking spaces on-site, and comply with the necessary City codes. As mentioned earlier, this parcel is not part of the Variance request and is only mentioned for reference only.

- **Lot Line Adjustment**

9936 and 9958 Artesia Boulevard – Should the Planning Commission approve the Variance request, the Applicant has agreed to process a Lot Line Adjustment application to consolidate both lots (i.e. 9936 Artesia Boulevard / APN: 7161-007-003 and 9958 Artesia Boulevard / APN: 7161-007-002). Processing the Lot Line Adjustment will 1) eliminate the nonconforming lot size of the smaller lot and 2) will eliminate the need for an additional ADA van accessible parking space for the smaller lot. If the Lot Line Adjustment is not processed, then at least one (1) space on 9958 Artesia Boulevard will be required to be converted into a van accessible parking space. Any further reduction of parking spaces at 9958 Artesia Boulevard will be inconsistent with the Variance request. A condition of approval has been added requiring the Applicant/Property Owners to process a Lot Line Adjustment to combine both lots (i.e. 9936 and 9958 Artesia Boulevard).

Pursuant to the BMC Chapter 16.20, a Lot Line Adjustment is required to combine 2 or more adjacent parcels. The Lot Line Adjustment will be processed administratively by the City Engineer. The Applicant will be required to submit a separate application, plans and fees for the Lot Line Adjustment process. Once the Lot Line Adjustment is approved, the property will have one (1) APN and the MDV and Variance will continue to be tied to the land as shown below:

BEFORE	AFTER
2 SEPARATE PARCELS	1 PARCEL



ANALYSIS

• General Plan Consistency

The project is consistent with the following goal and policies of the City's General Plan Land Use Element "Commercial" Goals and Policies:

- GOAL 2: Create a City that functions efficiently, is aesthetically pleasing, and makes the best use of its various resources.
 - POLICY 2.2 Provide commercial facilities to meet the retail and service needs of the community.
 - POLICY 2.5 Preserve and promote larger commercial centers while discouraging smaller, less viable commercial land use configurations which creep into residential area.
- COMMERCIAL POLICY 1: Create areas for physical viable commercial development with room to expand.
 - Implementation program 1.3 Provide lot consolidation incentives for commercial parcels in order to create large, viable, commercial properties.

• Variance Findings

Pursuant to BMC Chapter 17.100, the Applicant shall set forth in detail the justification for the requested Variance, and shall show thereon how all the conditions set forth in the zoning chapter and all other information requested by the Commission are satisfied. Before any variance may be granted, it must be affirmatively shown and proved that because of special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of the zoning ordinance is found to deprive the subject property of privileges enjoyed by other properties in the vicinity and under identical zone or district classification.

There are four (4) necessary findings that need to be made prior to recommending approval of a Variance. These findings are:

1. ***That there are exceptional or extraordinary circumstances or conditions applicable to the property involved that do not apply generally to the property or class of use in the same vicinity or district.***

The property's size, shape, configuration and existing physical constraints create a situation where there are no design alternatives that would result in the property's ability to comply with the on-site parking requirements per the Bellflower Municipal Zoning Code, which requires 16 parking spaces. Several parking layouts were reviewed and the design presented herein, with minor modifications, is the best option. This option will result in three (3) compliant off-street parking for the subject property.

2. ***That such variance is necessary for the preservation and enjoyment of a substantial property right of the Applicant that is possessed by other property in the same vicinity and district.***

In order for the Property Owners to complete regular site maintenance to the property and provide some parking on-site, the condition of the existing asphalt must be fixed. In order to issue permit for the maintenance of the subject parking lot, the site must comply with the parking requirements. The Variance is necessary because the configuration of the lot will not permit the required 16 parking spaces; instead it will only allow three (3) parking spaces. Not granting the Variance will prevent the Property Owners from providing compliant parking spaces on the subject property, as well as prohibit repair of the existing asphalt that is in poor condition. In addition, the other alternative would be to remove a portion of the building to comply with the parking requirements.

3. ***That the granting of such variance will not be materially detrimental to the public welfare or injurious to the property or improvements in such vicinity and district in which the property is located.***

The subject property is currently developed with a multi-tenant commercial building. The granting of a Variance will allow the Property Owners to continue using the building for commercial purposes. The allowance of three (3) parking spaces on the subject property will not be materially detrimental to the public welfare or injurious to the property or improvements in such vicinity and district because the area was previously used for parking purposes. All maintenance work will comply with all Zoning and Building Codes.

4. ***That the granting of such variance will not adversely affect the Comprehensive General Plan.***

The proposal is consistent with "Goal 2", "Policy 2.2", "Policy 2.5" and "Commercial Policy 1" and "Implementation Program 1.3" of the General Plan Land Use Element, which is to provide commercial facilities to meet the retail and service

ATTACHMENTS

Attachment A – Resolution No. PC 11-31
Attachment B – MDV Approval Letter to Applicant
Attachment C – Existing Aerial Photo and Assessor's Parcel Map
Attachment D – Land Use and Zoning Map
Attachment E – 300' Radius Map & Mailing Labels
Attachment F – Plans

Doc. 251157

CITY OF BELLFLOWER
RESOLUTION NO. PC 11-31

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BELLFLOWER APPROVING VARIANCE CASE NO. V 11-05 TO ALLOW THREE (3) OFF-STREET PARKING SPACES INSTEAD OF THE MINIMUM SIXTEEN (16) OFF-STREET PARKING SPACES REQUIRED BY THE BELLFLOWER MUNICIPAL CODE CHAPTER 17.88 WITHIN THE M-1 (LIGHT INDUSTRIAL) DISTRICT ON PROPERTY LOCATED AT 9958 ARTESIA BOULEVARD; APPLICANT: LARRY VAN OTTERLOO

WHEREAS, the applicant, Larry Van Otterloo is requesting a Variance to Allow Three (3) Off-Street Parking Spaces Instead of the Minimum Sixteen (16) On-Site Parking Spaces Required by the Bellflower Municipal Code Chapter 17.88 within the M-1 (Light Industrial) District on Property Located at 9958 Artesia Boulevard

WHEREAS, it is the purpose of the Zoning Ordinance to encourage the most appropriate use of the land; to conserve and stabilize the value of property; and to promote public peace, health, safety, and general welfare, all in accordance with the General Plan; and

WHEREAS, notice of the mentioned hearing was duly given and published in the time, form, and manner as required by law; and

WHEREAS, a Public Hearing was held before the Planning Commission on December 19, 2011 and

WHEREAS, the General Plan contains policies to organize land uses to avoid creating nuisances among adjacent land uses; and

WHEREAS, A Notice of Exemption has been prepared in accordance with Article 19, Section 15304, Class 4 of the provisions of the California Environmental Quality Act (CEQA).

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF BELLFLOWER, AS FOLLOWS:

SECTION 1. The Planning Commission of the City of Bellflower does hereby find, determine, and declare as follows:

- 1. That there are exceptional or extraordinary circumstances or conditions applicable to the property involved that do not apply generally to the property or class of use in the same vicinity or district.***

The property's size, shape, configuration and existing physical constraints create a situation where there are no design alternatives that would result in the property's ability to comply with the on-site parking requirements per the Bellflower Municipal Zoning Code, which requires 16 parking spaces. Several parking layouts were reviewed and the design presented herein, with minor modifications, is the best option. This option will result in three (3) compliant off-street parking for the subject property.

- 2. That such variance is necessary for the preservation and enjoyment of a substantial property right of the Applicant that is possessed by other property in the same vicinity and district.***

In order for the Property Owners to complete regular site maintenance to the property and provide some parking on-site, the condition of the existing asphalt must be fixed. In order to issue permit for the maintenance of the subject parking lot, the site must comply with the parking requirements. The Variance is necessary because the configuration of the lot will not permit the required 16 parking spaces; instead it will only allow three (3) parking spaces. Not granting the Variance will prevent the Property Owners from providing compliant parking spaces on the subject property, as well as prohibit repair of the existing asphalt that is in poor condition. In addition, the other alternative would be to remove a portion of the building to comply with the parking requirements.

- 3. That the granting of such variance will not be materially detrimental to the public welfare or injurious to the property or improvements in such vicinity and district in which the property is located.**

The subject property is currently developed with a multi-tenant commercial building. The granting of a Variance will allow the Property Owners to continue using the building for commercial purposes. The allowance of three (3) parking spaces on the subject property will not be materially detrimental to the public welfare or injurious to the property or improvements in such vicinity and district because the area was previously used for parking purposes. All maintenance work will comply with all Zoning and Building Codes.

- 4. That the granting of such variance will not adversely affect the Comprehensive General Plan.**

The proposal is consistent with "Goal 2", "Policy 2.2", "Policy 2.5" and "Commercial Policy 1" and "Implementation Program 1.3" of the General Plan Land Use Element, which is to provide commercial facilities to meet the retail and service needs of the community.

SECTION 2. Based on the above findings, the Planning Commission hereby approving Variance Case No. 11-05, subject to the following conditions:

1. The plans shall be revised to address all inconsistencies on the sites and shall be completed prior to obtaining a permit for the site improvements.
2. The open area to the right of the 3 parking spaces shall be striped as "No Parking".
3. The Applicant/Property Owner shall process a lot line adjustment to consolidate both lots (i.e. 9936 Artesia Boulevard "APN: 7161-007-003" and 9958 Artesia Boulevard "APN: 7161-007-002").

SECTION 3. That the Secretary of the Planning Commission shall certify to the adoption of this Resolution.

PASSED, APPROVED, AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF BELLFLOWER THIS 19TH DAY OF DECEMBER 2011.

ATTEST:


BRIAN K. LEE, AICP, SECRETARY


KEN KOS, CHAIRMAN

Doc 251158

Attachment I
Updated Plan for Park Land Dedication
Request

3634
 FEB 08 2013
 By _____

1. **Site plan:** for conceptual purposes only.
2. **Site plan:** must be prepared by planning, building, and fire departments for code compliance.
3. **Basic information per AIA request.**
4. **Code engineer:** to verify all submittals and posting information.
5. **Building modification:** will change due to the final design iteration cycle.
6. **Open space:** this is subject to change due to the building design of the situation.
7. **Existing submittals:** are reviewed then properly listed to be taken forward to the



BELFLOWER 4

Attachment J

Project Plans

Bellflower 4

9958 Artesia Blvd.
Bellflower, California

City Enticement Submittal

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DECEMBER 21, 2017

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Conceptual Site Plan	L-2
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Our Team

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Business: (949) 256-7555
www.clubventures.com

Club Ventures
3221 Michelson Drive
Irvine, CA 92612

Architect/Planner
Contact: Kimberly Hopkins
Business: (949) 250-0627
www.kharchitects.com

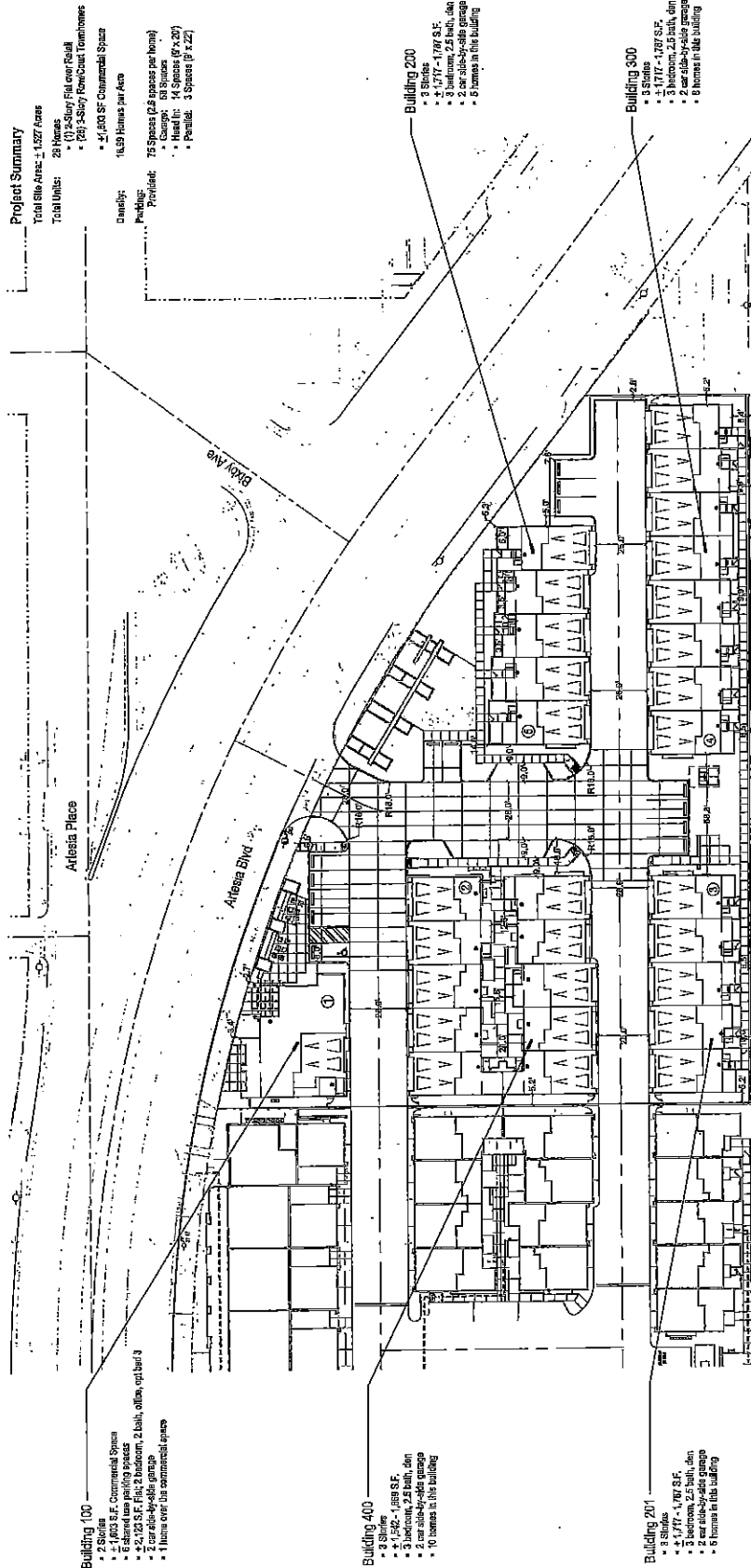
William Hezmalhach Architects, Inc.
2850 Redhill Ave., Suite 200
Santa Ana, CA 92705

Civil Engineer
Contact: Tam Peterson
Business: (949) 916-9500
www.tpc-inc.net

Landscape Architects
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Business: (949) 869-6824
www.t2collaborative.com

C&V Consulting, Inc.
8 Orchard Suite 200
Irvine, CA 92610

C2 Collaborative
100 Avenida Miramar
San Clemente, CA 92672



Conceptual Site Plan

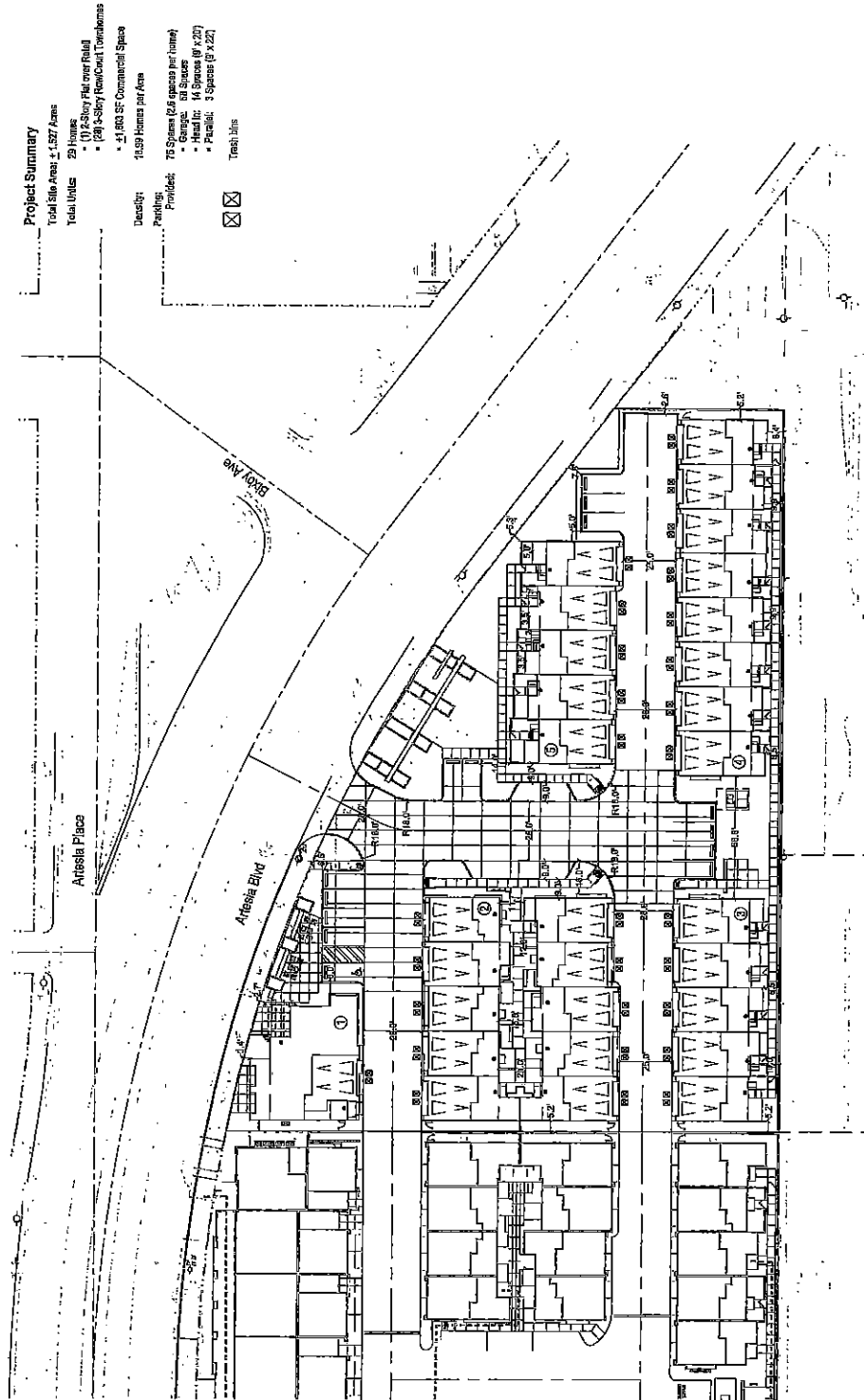


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BELLFLOWER 4
9958 ARTESIA BLVD
Bellflower, CA



Conceptual Trash Plan

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BELFLOWER 4
9958 ARTESIA BLVD
Bellflower, CA

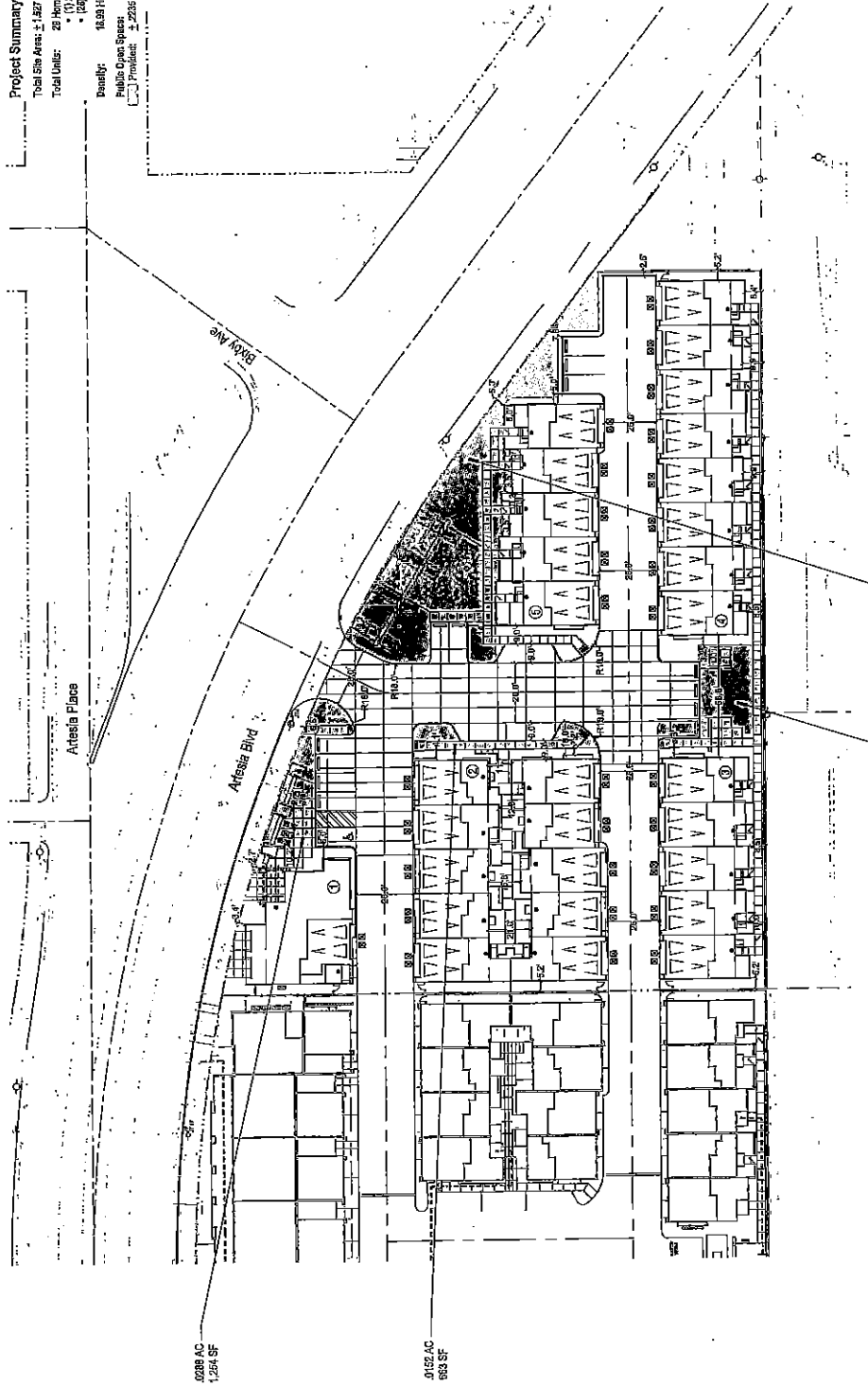
CV Communities
A BELLFLOWER COMPANY

WHA
WILLIAM MCDONALD ARCHITECTURE

Sheet Number
SP-2
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Project Summary
 Total Site Area: 1.187 Acres
 Total Units: 99 Homes
 • (1) 2-Story Flat over Retail
 • (28) 3-Story Row/Court Townhomes
 Density: 18.93 homes per Acre
 Public Open Space
 [] Private: 2,256.50 SQ. FT. (0.33 Acre) C.S.
 [] Public: 1,254.00 SQ. FT. (0.18 Acre) C.S.



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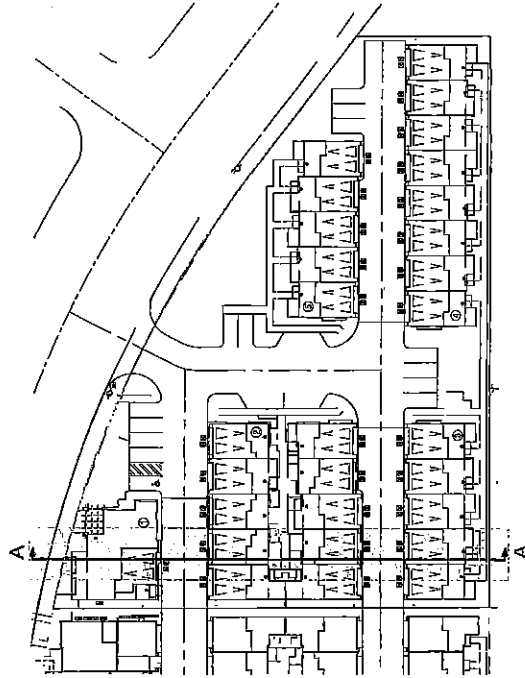
BELLFLOWER 4
 9958 ARTESIA BLVD
 BELLFLOWER, CA

CV Communities
 A BURNS & MCDONNELL COMPANY

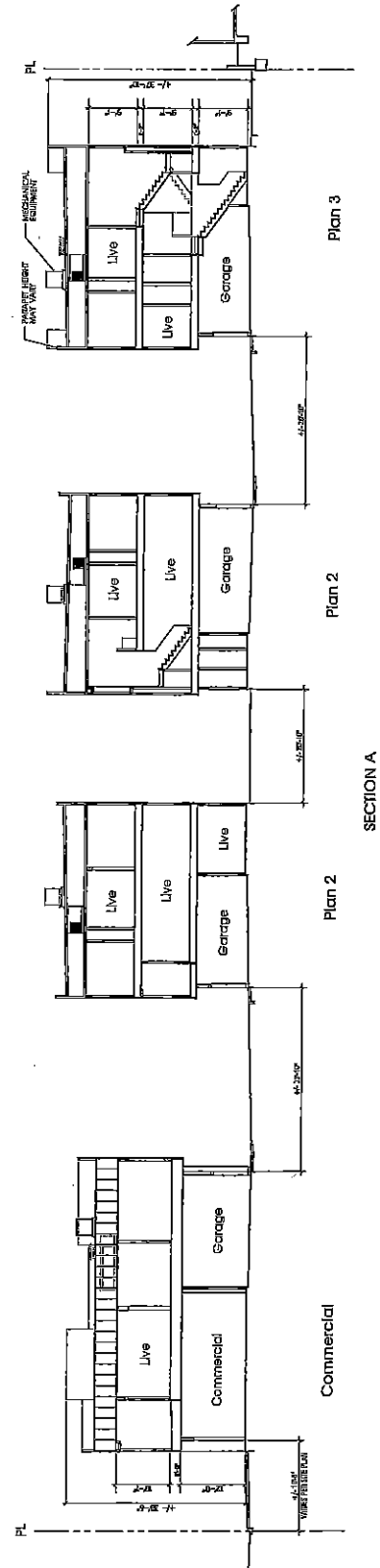
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Sheet Number
SP-3
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Proposed Parkland Dedication



Site Plan - Section Key (NTS)



Site Section Exhibit

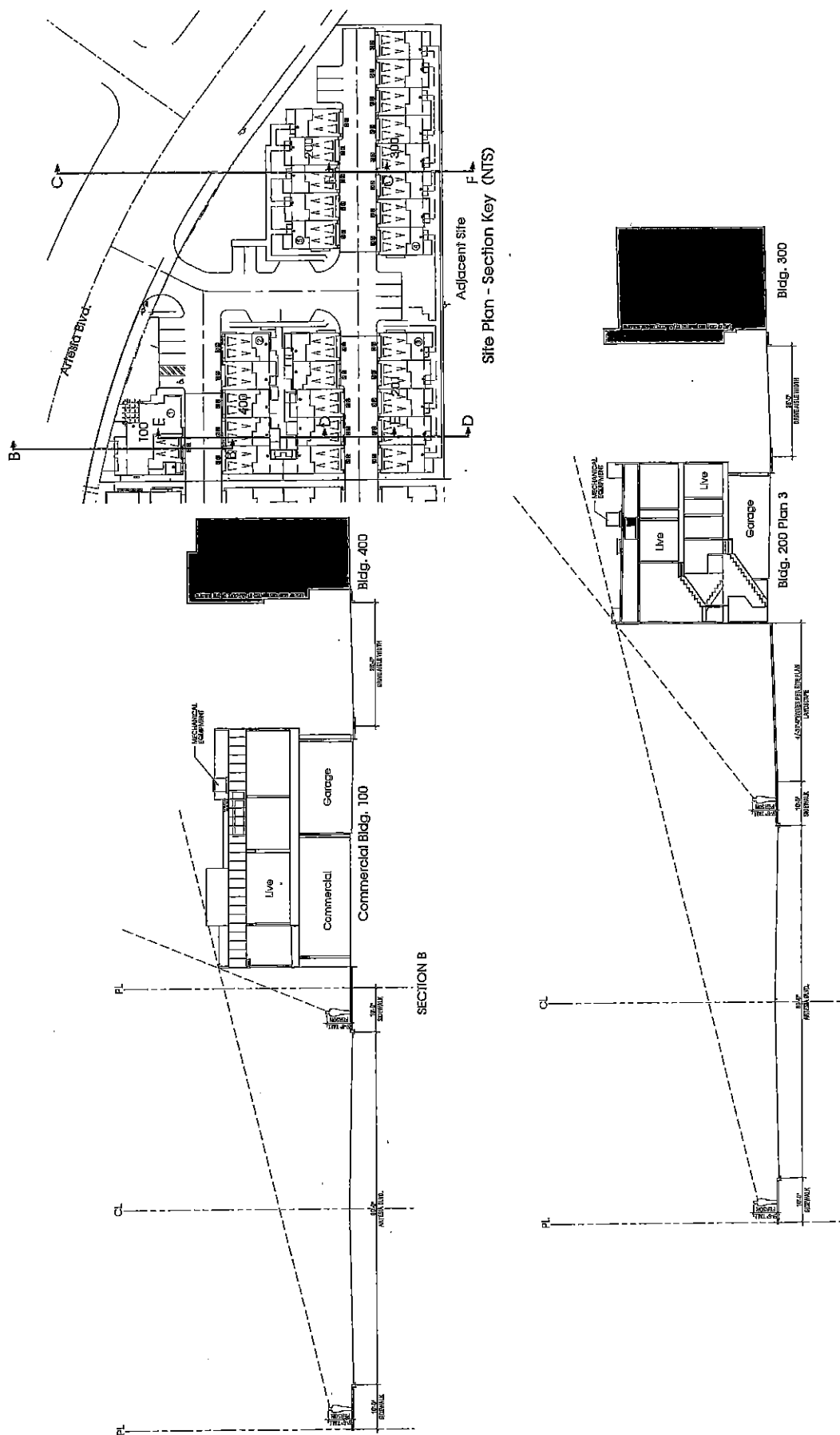
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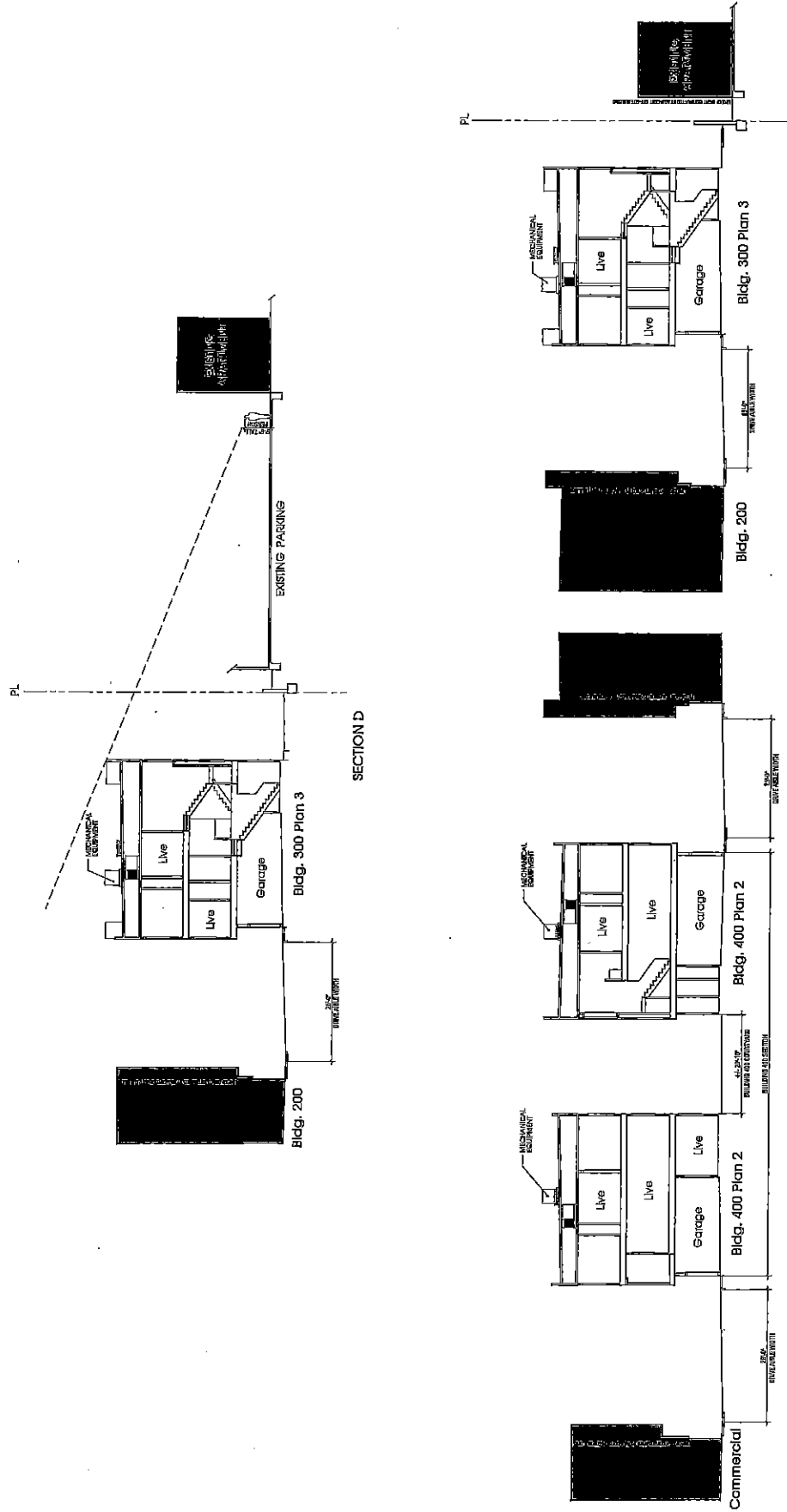
BELFLOWER 4
9958 ARTESIA BLVD
Bellflower, CA

WHA
WILLIAM JEROME LEE ARCHITECTS
ARCHITECTS
P.A. & ASSOCIATES
ARCHITECTS

Sheet Number
SP-4
SUSAN • 2017-17

Site Section Exhibit





SECTION E

SECTION F

Site Section Exhibit

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BELLFLOWER 4
9958 ARTESIA BLVD
Bellflower, CA

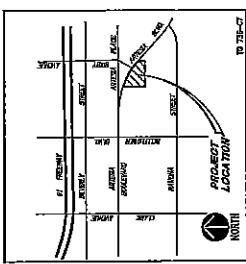
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ARCHITECTS
A 501 (C)(3) NON-PROFIT CORPORATION

Sheet Number
SP-6
REVISIONS • 10/24/17

SCALE: 1/4" = 1'-0"

TENTATIVE TRACT MAP NO. 77198

IN THE CITY OF BELLFLOWER, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA



PROPOSED EASEMENT NOTES

- 1. EASEMENT FOR THE PURPOSES OF THE PROPOSED TRACT MAP.
- 2. EASEMENT FOR THE PURPOSES OF THE PROPOSED TRACT MAP.
- 3. EASEMENT FOR THE PURPOSES OF THE PROPOSED TRACT MAP.
- 4. EASEMENT FOR THE PURPOSES OF THE PROPOSED TRACT MAP.
- 5. EASEMENT FOR THE PURPOSES OF THE PROPOSED TRACT MAP.

OWNER

Henry P. Tenney and Anne M. Tenney
 Henry P. Tenney and Anne M. Tenney
 Husband and Wife

SUPERVISOR

City Tentures
 1000 Wilshire Blvd., Suite 100
 Los Angeles, California 90017
 (213) 231-7000

TENTATIVE MAP PREPARED BY

City Tentures
 1000 Wilshire Blvd., Suite 100
 Los Angeles, California 90017
 (213) 231-7000

DATE

APRIL 1, 2007

SHEET INDEX

1 OF 6 SHEETS

GRAPHIC SCALE

1" = 100'

TENTATIVE TRACT MAP

NO. 77198

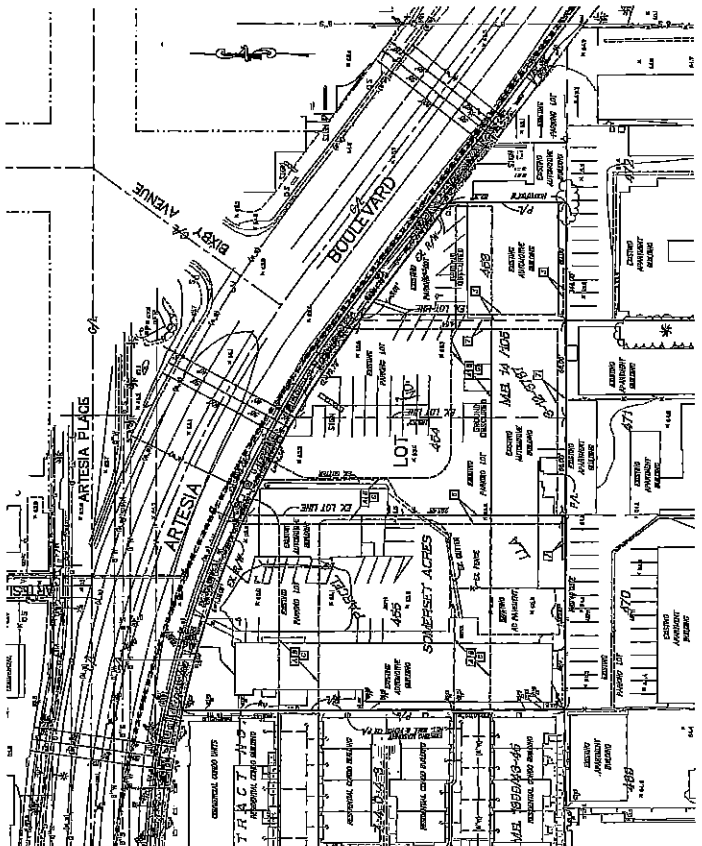
FOR CONDOMINIUM PURPOSES

1955 ARTESIA BOULEVARD

CITY OF LOS ANGELES, CALIFORNIA

DATE: 9/24/2007

SHEET 1 OF 6 SHEETS



REVISIONS

APR 7161-007-016

REVISIONS

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GENERAL NOTES

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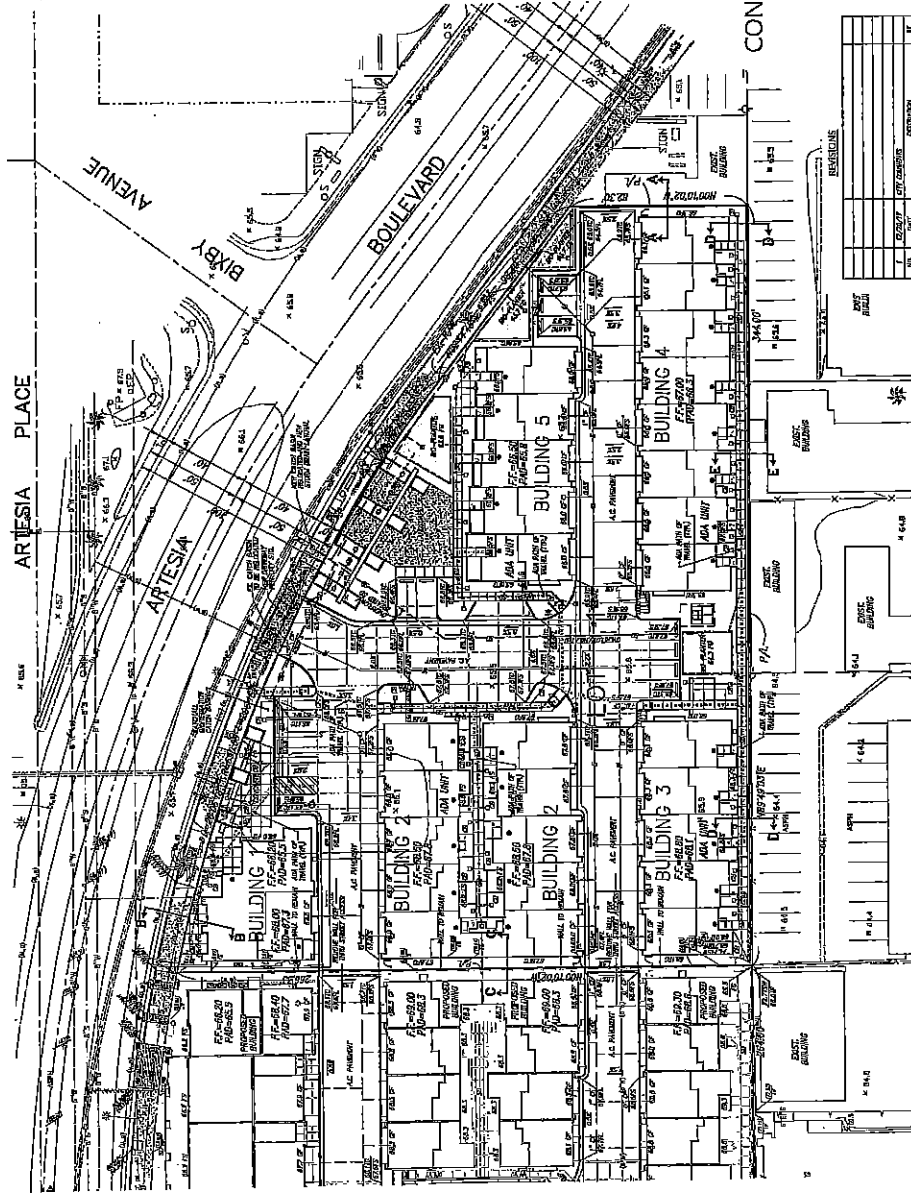
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BELLFLOWER 4
 9958 ARTESIA BLVD
 Bellflower, CA



TENTATIVE TRACT MAP NO. 77198 IN THE CITY OF BELFLOWER, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

ARTESIA PLACE



CARTOGRAPHIC QUANTITIES:

PLAN SCALE	1" = 40' 0"
SECTION SCALE	1" = 4' 0"
VERTICAL SCALE	1" = 4' 0"
AREA SCALE	1" = 4' 0"
PERIMETER SCALE	1" = 4' 0"

LEGEND:

EXISTING GRADE	PROPOSED GRADE
EXISTING SIDEWALK	PROPOSED SIDEWALK
EXISTING DRIVEWAY	PROPOSED DRIVEWAY
EXISTING PARKING	PROPOSED PARKING
EXISTING FENCE	PROPOSED FENCE
EXISTING UTILITY	PROPOSED UTILITY
EXISTING EASEMENT	PROPOSED EASEMENT
EXISTING RIGHT-OF-WAY	PROPOSED RIGHT-OF-WAY
EXISTING ZONING	PROPOSED ZONING
EXISTING SETBACK	PROPOSED SETBACK
EXISTING LOT	PROPOSED LOT
EXISTING TRACT	PROPOSED TRACT

OWNER:
Henry P. Tenney & Anna M. Tenney
Henry P. Tenney & Anna M. Tenney
10000 Wilshire Blvd., Suite 1000
Beverly Hills, California 90210

SUBDIVIDER:
CITY OF BELFLOWER
CITY OF BELFLOWER
10000 Wilshire Blvd., Suite 1000
Beverly Hills, California 90210
(310) 200-1000

PLAN PREPARED BY:
CRANE CONSULTING INC.
CRANE CONSULTING INC.
10000 Wilshire Blvd., Suite 1000
Beverly Hills, California 90210
(310) 200-1000

CONCEPTUAL GRADING PLAN
TENTATIVE TRACT MAP
NO. 77198
FOR CONDOMINIUM PURPOSES
5555 ARTESIA BOULEVARD
IN THE CITY OF BELFLOWER
COUNTY OF LOS ANGELES, CALIFORNIA
DATE: 05/20/07
SHEET 3 OF 6 SHEETS

NO.	DESCRIPTION	DATE	BY	CHKD.	APP'D.
1	CONCEPTUAL GRADING PLAN	05/20/07	CRANE CONSULTING INC.		

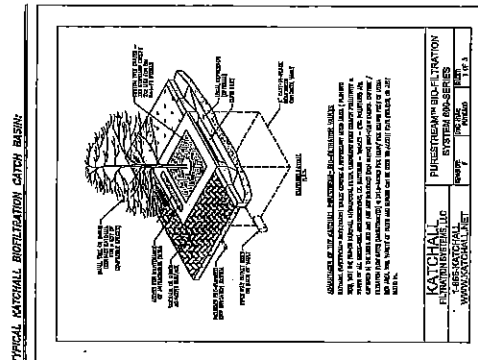
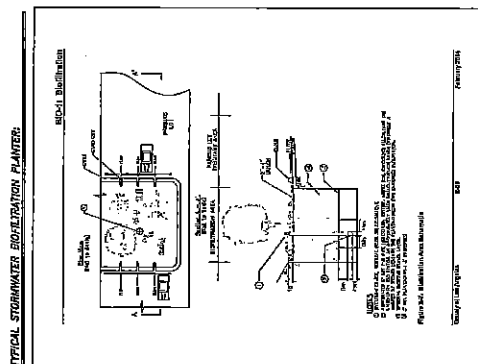
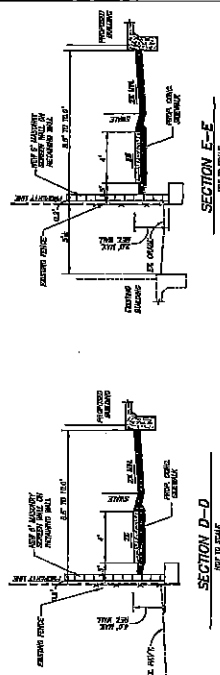
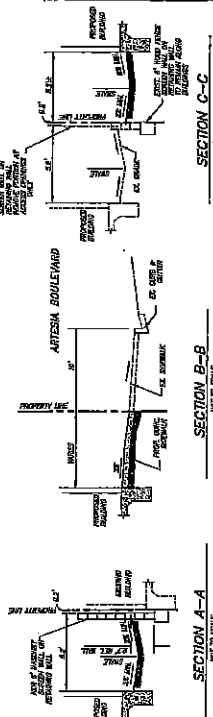
Conceptual Grading Plan

BELFLOWER 4
9958 ARTESIA BLVD
Bellflower, CA

Sheet Number
C-3
200707 - 0000-07
CV Consultants
10000 Wilshire Blvd., Suite 1000
Beverly Hills, California 90210
(310) 200-1000

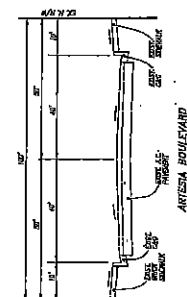
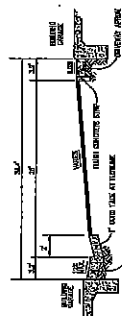
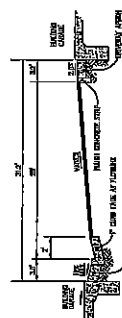
IN THE CITY OF BELLFLOWER, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA,

IN THE CITY OF BELLFLOWER, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA,



CONCEPTUAL GRADING PLAN
TENTATIVE TRACT MAP

NO. 77198
"FOR CONDOMINIUM PURPOSES"
9958 ARTESIA BOULEVARD
IN THE CITY OF BELLFLOWER,
COUNTY OF LOS ANGELES, CALIFORNIA
DATE: 9/04/2017
SHEET 4 OF 6 SHEETS

[illegible]

TYPICAL STREET SECTIONS:

TYPICAL 25' ALLEY

TYPICAL 28" ALLEY

[illegible]

CONCEPTUAL UTILITY PLAN
TENTATIVE TRACT MAP

NO. 77198
"FOR CONDOMINIUM PURPOSES"
3958 ARTESIA BOULEVARD
IN THE CITY OF BELLFLOWER
COUNTY OF LOS ANGELES, CALIFORNIA
DATE: 9/04/2017
SHEET 5 OF 6 SHEETS

Conceptual Utility Plan

BELLFLOWER 4
9958 ARTESIA BLVD
Bellflower, CA

CV Communities
 a division of CV Group

TENTATIVE TRACT MAP NO. 77198
IN THE CITY OF BELFLOWER, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

BUILDING CONSTRUCTION INFORMATION

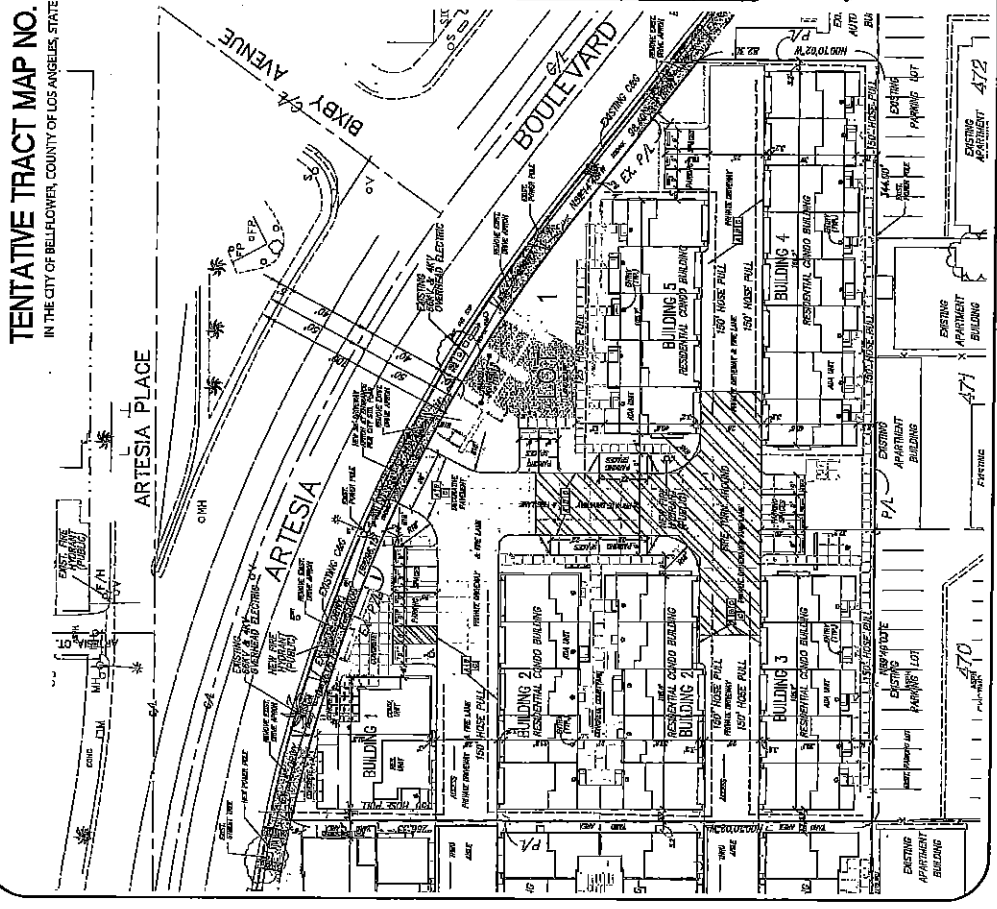
- ADDITIONAL NOTES:**
- 1. ALL BUILDINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE, AS AMENDED.
 - 2. ALL BUILDINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA FIRE CODE, AS AMENDED.
 - 3. ALL BUILDINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PLUMBING CODE, AS AMENDED.
 - 4. ALL BUILDINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ELECTRICAL CODE, AS AMENDED.
 - 5. ALL BUILDINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA MECHANICAL CODE, AS AMENDED.
 - 6. ALL BUILDINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA SOILS AND FOUNDATIONS CODE, AS AMENDED.
 - 7. ALL BUILDINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA WOOD PRESERVATION CODE, AS AMENDED.
 - 8. ALL BUILDINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA GLASS CODE, AS AMENDED.
 - 9. ALL BUILDINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA SAFETY CODE, AS AMENDED.
 - 10. ALL BUILDINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ACCESSIBILITY CODE, AS AMENDED.

BUILDING AREAS

BUILDING	AREA (SQ. FT.)	USE
BUILDING 1	1,000	RESIDENTIAL
BUILDING 2	1,000	RESIDENTIAL
BUILDING 3	1,000	RESIDENTIAL
BUILDING 4	1,000	RESIDENTIAL
BUILDING 5	1,000	RESIDENTIAL

PROJECT AREA

THE PROJECT AREA IS LOCATED IN THE CITY OF BELFLOWER, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA. THE PROJECT AREA IS BOUNDARY BY ARTESIA BLVD. TO THE NORTH, BAYVIEW AVE. TO THE EAST, AND BAYVIEW AVE. TO THE SOUTH.



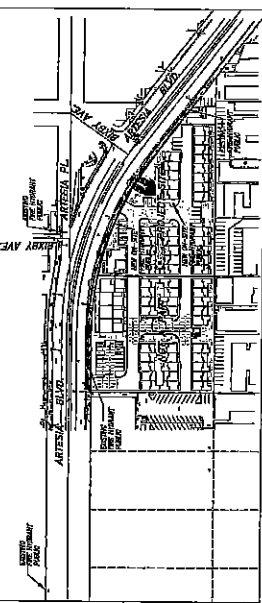
PROPOSED EASEMENT NOTES:

- 1. THE EASEMENT IS GRANTED FOR THE PURPOSES OF THE PROJECT.
- 2. THE EASEMENT IS GRANTED FOR THE PURPOSES OF THE PROJECT.
- 3. THE EASEMENT IS GRANTED FOR THE PURPOSES OF THE PROJECT.
- 4. THE EASEMENT IS GRANTED FOR THE PURPOSES OF THE PROJECT.
- 5. THE EASEMENT IS GRANTED FOR THE PURPOSES OF THE PROJECT.
- 6. THE EASEMENT IS GRANTED FOR THE PURPOSES OF THE PROJECT.
- 7. THE EASEMENT IS GRANTED FOR THE PURPOSES OF THE PROJECT.
- 8. THE EASEMENT IS GRANTED FOR THE PURPOSES OF THE PROJECT.
- 9. THE EASEMENT IS GRANTED FOR THE PURPOSES OF THE PROJECT.
- 10. THE EASEMENT IS GRANTED FOR THE PURPOSES OF THE PROJECT.

OWNER:
Harry P. Tenney and Anna M. Tenney
Tenney & Anna M. Tenney
Tenney & Anna M. Tenney
Tenney & Anna M. Tenney
Tenney & Anna M. Tenney
Tenney & Anna M. Tenney
Tenney & Anna M. Tenney
Tenney & Anna M. Tenney
Tenney & Anna M. Tenney
Tenney & Anna M. Tenney

SUBDIVISION:
SUBDIVISION NO. 1
SUBDIVISION NO. 1
SUBDIVISION NO. 1
SUBDIVISION NO. 1
SUBDIVISION NO. 1
SUBDIVISION NO. 1
SUBDIVISION NO. 1
SUBDIVISION NO. 1
SUBDIVISION NO. 1
SUBDIVISION NO. 1

PLAN PREPARED BY:
CIVIL ENGINEER
CIVIL ENGINEER
CIVIL ENGINEER
CIVIL ENGINEER
CIVIL ENGINEER
CIVIL ENGINEER
CIVIL ENGINEER
CIVIL ENGINEER
CIVIL ENGINEER
CIVIL ENGINEER



SURROUNDING FIRE HYDRANT LOCATIONS

SCALE 1" = 100'

GRAPHIC SCALE

1" = 100'

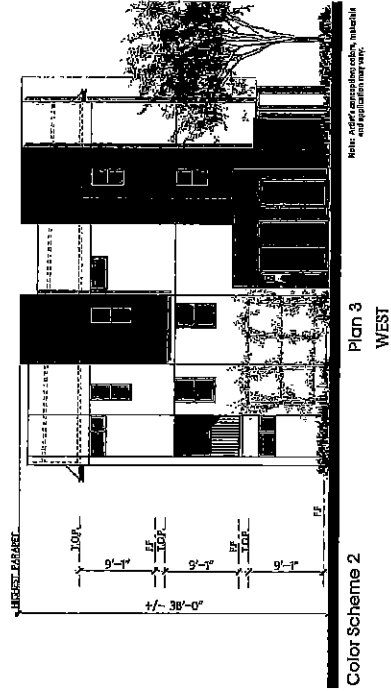
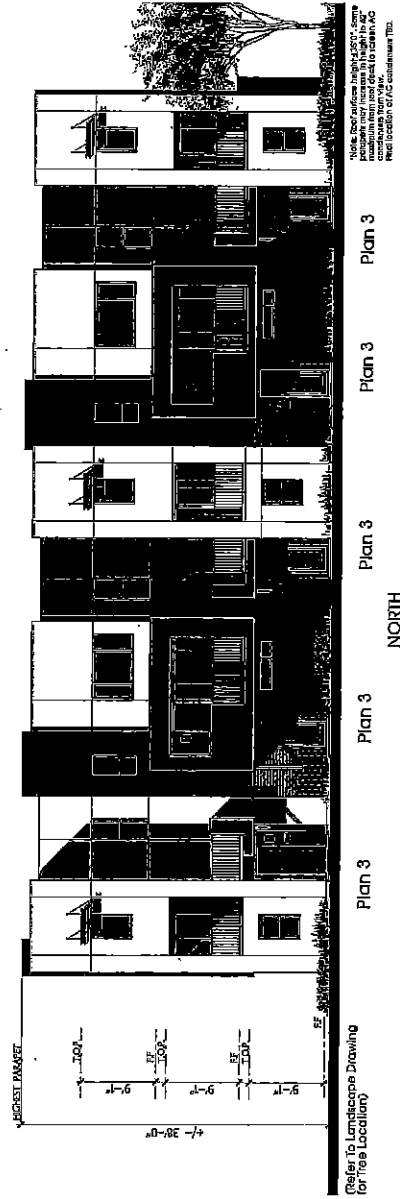
REVISIONS

NO.	DATE	DESCRIPTION
1	10/20/20	INITIAL
2	10/20/20	INITIAL
3	10/20/20	INITIAL
4	10/20/20	INITIAL
5	10/20/20	INITIAL
6	10/20/20	INITIAL
7	10/20/20	INITIAL
8	10/20/20	INITIAL
9	10/20/20	INITIAL
10	10/20/20	INITIAL

FIRE ACCESS PLAN
TENTATIVE TRACT MAP
NO. 77198

"FOR CONDOMINIUM PURPOSES"
9958 ARTESIA BOULEVARD
IN THE CITY OF BELFLOWER
LOS ANGELES COUNTY, CALIFORNIA
DATE: 9/24/2017
SHEET 5 OF 6 SHEETS

Fire Access Plan



Note:
 • Direction of Elevation Faces
 • Refer to Site Plan for Specific Locations/
 Orientation

Building 200: Elevations

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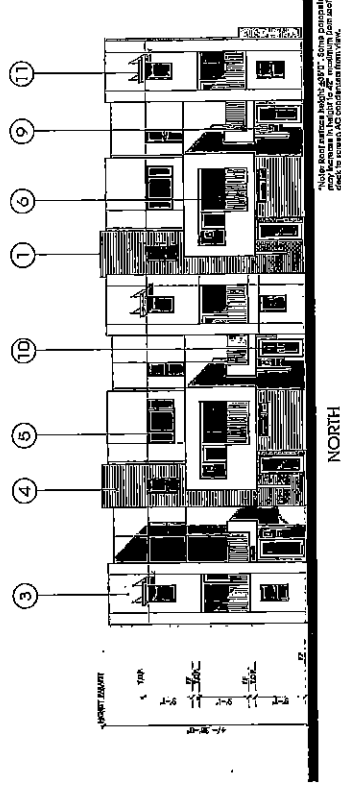
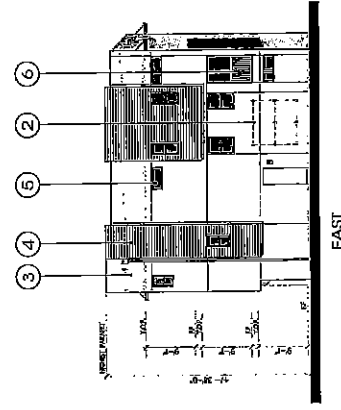
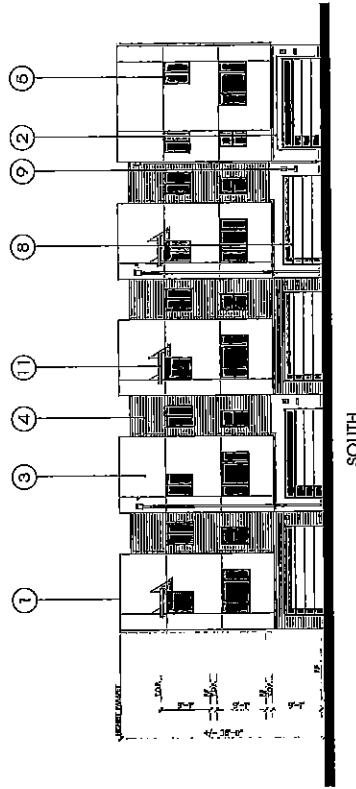
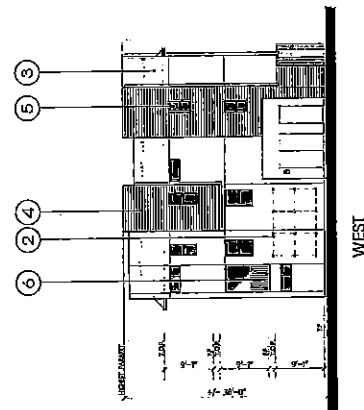
BELLFLOWER 4
 9958 ARTESIA BLVD
 Bellflower, CA

CIVIL ENGINEERING
 ARCHITECTURE
 LANDSCAPE ARCHITECTURE

WHA
 WILLIAM NEUMAN/DAVID ARCHITECTS

Sheet Number
A-2
 SCALE: 1/8"=1'-0"

DATE: 11-15-17
 0' 6' 12'



Materials

1. Roof: Flat with Parapet
2. Cable Trails
3. Primary Wall: Stucco Finish
4. Floor: Cement Siding
5. Vinyl Windows
6. Metal Roofing
7. Column: Wood
8. Garage Door: Metal Sectional Roll-Up
9. Address & Coach Light
10. Entry Doors
11. Metal Awning
12. Brick Veneer

Note:

- Direction of Elevation Varies
- Refer to Site Plan for Specific Locations/ Orientation
- Refer to S-Plex Exterior Elevations & Color/Material Board for Color Information located on Previous Sheet

Building 200: Exterior Elevations

Scale: 1/8" = 1'-0"

Sheet Number

A-3

2/15/2017 - 10/14/17

CV Communities
A Division of CH2M

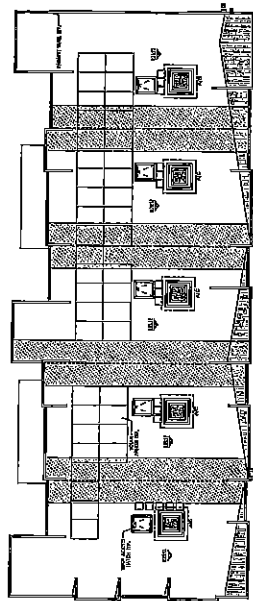
WHA
WILLIAM HENNING ARCHITECTS, INC. dba WHA

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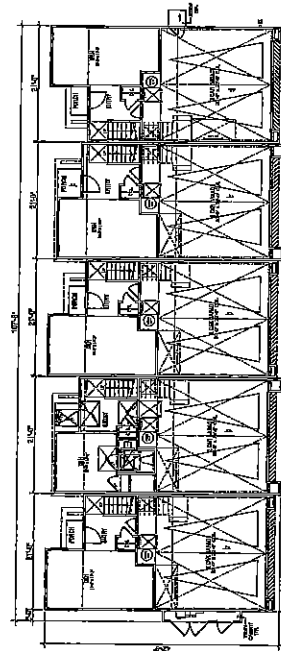
BELFLOWER 4
9958 ARTESIA BLVD
BELLFLOWER, CA

PLAN 3B-R PLAN 3A-R PLAN 3B-R PLAN 3A-R PLAN 3E

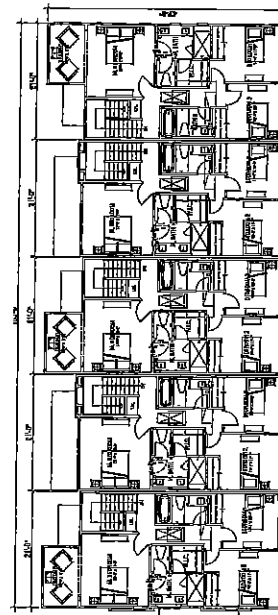
Second Floor



Roof Plan



First Floor



Third Floor

PLAN 3B-R	PLAN 3A-R	PLAN 3B-R	PLAN 3A-R	PLAN 3E
1,787 SF GROSS	1,717 SF GROSS	1,787 SF GROSS	1,717 SF GROSS	1,787 SF GROSS
		3 BEDRM + DEN	3 BEDRM + DEN	3 BEDRM + DEN
		2.5 BA	2.5 BA	2.5 BA
		2-CAR GARAGE	2-CAR GARAGE	2-CAR GARAGE

PLAN 3B-R	PLAN 3A-R	PLAN 3B-R	PLAN 3A-R	PLAN 3E

BUILDING TYPE (B-Plan)	
BUILDING OCCUPANCY GROUP	RA-1, U
TYPE OF CONSTRUCTION	TYPE WAS MODIFIED
FIRE PROTECTION (FIREWORKS UNIT COMBINATION)	1RD SYSTEM PROVIDED
STAIRWELLS	3-STORED (TYPE IV PER LOCAL CODE)
MAXIMUM STORES ALLOWED	

Building 201: Floor Plans and Roof Plans

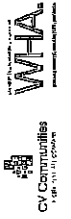
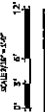
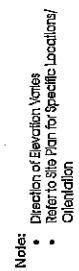
© 2017 WILLIAM HEZARD-WALCH ARCHITECTS, INC. dba WWA

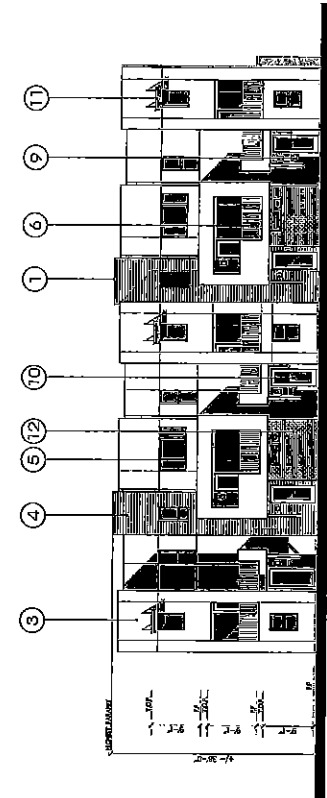
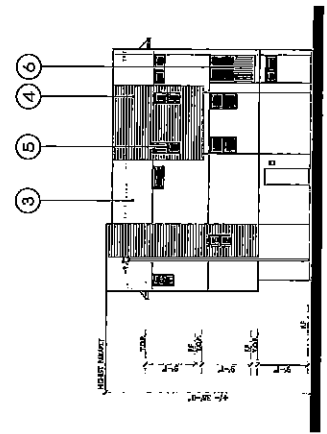
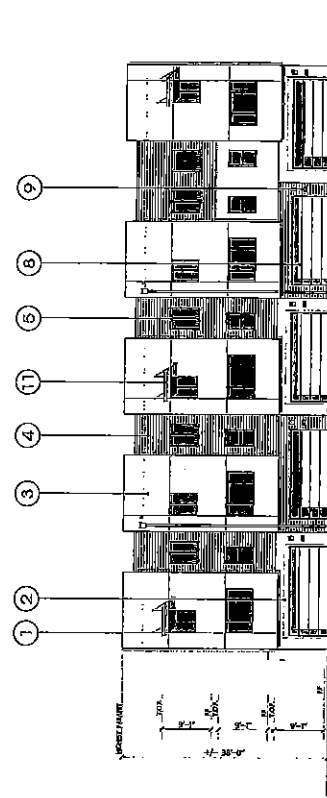
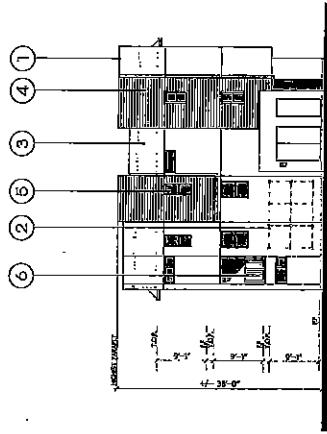
BELFLOWER 4
9958 ARTESIA BLVD
Bellflower, CA

CV Communities
A CDS REAL ESTATE COMPANY

WHA
WHEELER HILL ASSOCIATES

A-4
 TOLSON - 12-21-59





Materials

- 1 Roof: Flat with Parapet
- 2 Cable Rails
- 3 Primary Wall: Stucco Finish
- 4 Floor: Cement Siding
- 5 Vinyl Windows
- 6 Metal Siding
- 7 Column: Wood
- 8 Garage Door: Metal Sectional Roll-Up
- 9 Address & Coach Light
- 10 Entry Doors
- 11 Metal Awning
- 12 Black Veneer

Note:

- Direction of Elevation Faces
- Refer to Site Plan for Specific Locations/Orientation
- Refer to S-Plex Exterior Elevations & Color/Material Board for Color Information located on Previous Sheet

Building 201: Exterior Elevations

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9958 ARTESIA BLVD
BELLFLOWER, CA

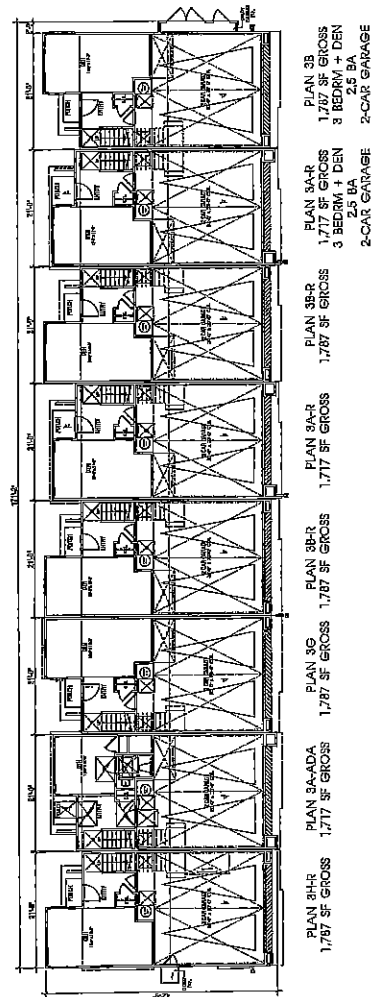
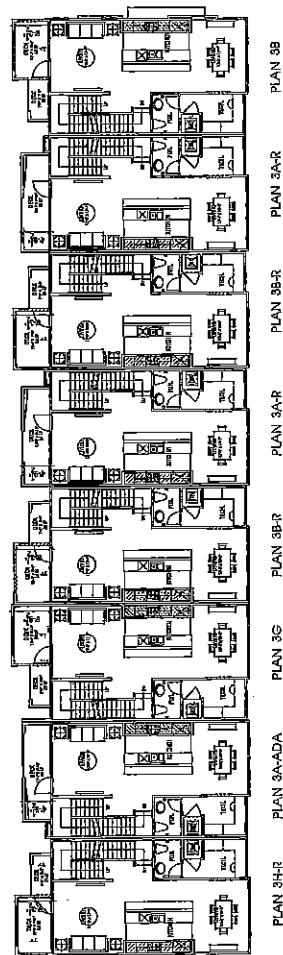
CV Communities
A COMMUNITY OF

WHA
ARCHITECTS

Sheet Number
A-6
25.0000' x 36.0000'

SCALE: 1/8" = 1'-0"

Note: These elevations were prepared from the 3D model of the building. They may differ from the actual building due to construction tolerances and/or changes in the building.



Building 300: Floor Plans

Building Type (p.14)	RA, U	TYPE VS NON-BUILT	THE	THE SYSTEM PROVIDED	MAXIMUM STRESS ALLOWED	MAXIMUM STRESS (TABLE 60)
BUILDING OCCUPANCY GROUP						
TYPE OF CONSTRUCTION						
FRAME PARTIAL EXCELLENT UNIT REGISTRATION						
SPRINKLED						

R-2, U
TYPE VS NON-RATED
14B
13D SYSTEM PROVIDED
CUSTOMER TYPE VS P

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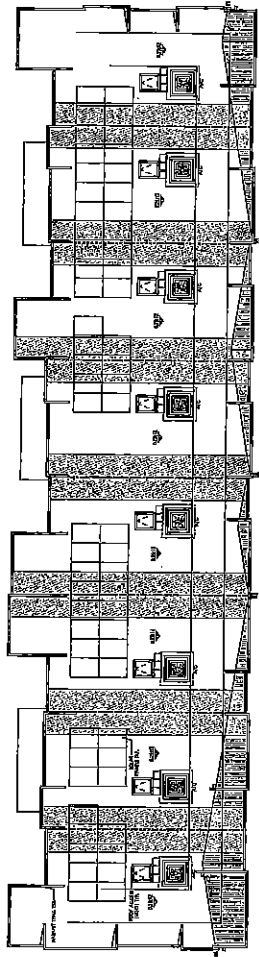
BELLFLOWER 4
9958 ARTESIA BLVD
Bellflower, CA

CV Communities
A Division of CVI Inc.

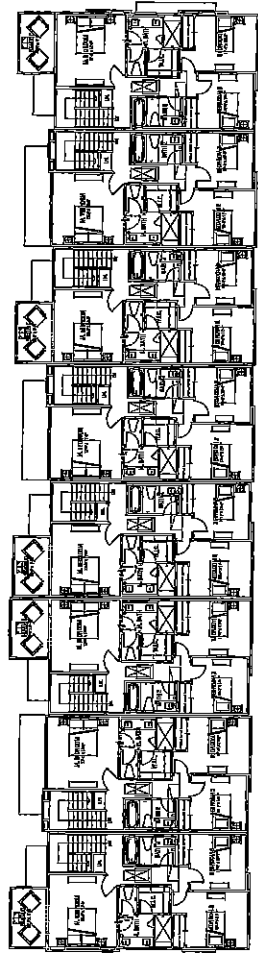
WHA
WORLDWIDE HEALTH ASSOCIATES

Sheet Number
A-7
201639 - 12-28-17

Sheet Number



Roof Plan



Third Floor

Building Type (S-FAC)
Building Occupancy Group
Type of Construction
Preservation/Original Unit Construction
Designated
Maximum Stories Allowed
R-1, U
Type Unchanged
SBC
ASD System Provided
3-4 Stories (Type 1B per CBC 905.2.2.2)

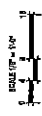
Building 300: Floor Plans & Roof Plan

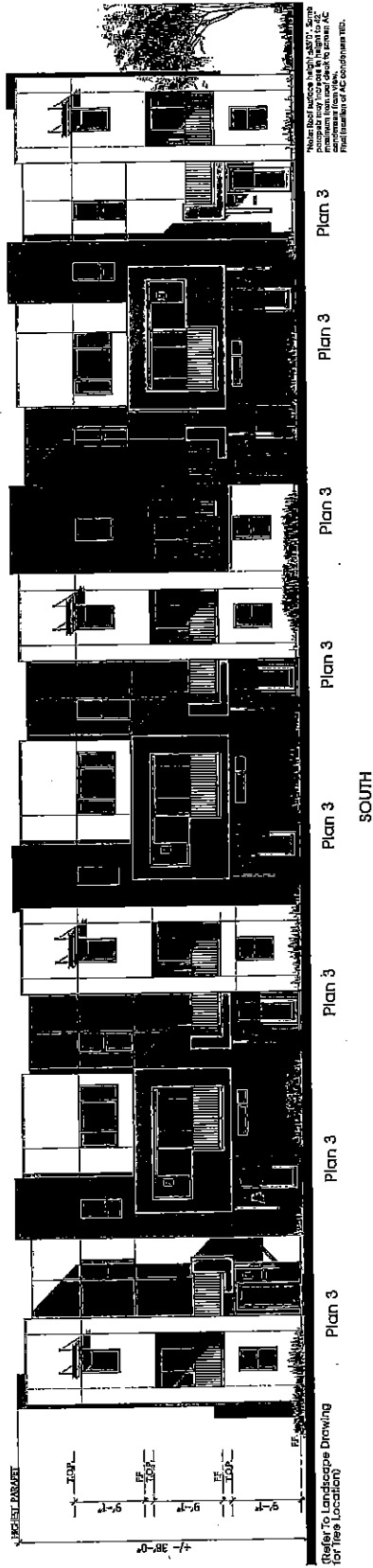
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BELLFLOWER 4
9958 ARTESIA BLVD
Bellflower, CA

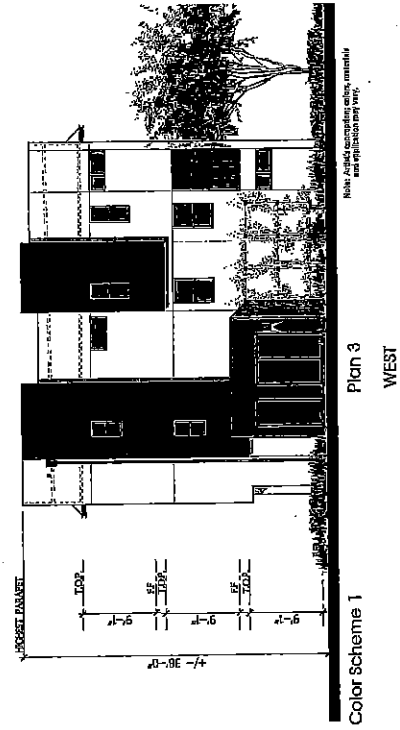
CV Communities
A Division of WHA

Sheet Number
A-8
DWG # 100-07





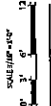
SOUTH



WEST

Building 300: Elevations

- Notes:
- Direction of Elevation Varies
 - Refer to Site Plan for Specific Locations/ Orientation



Sheet Number

A-9

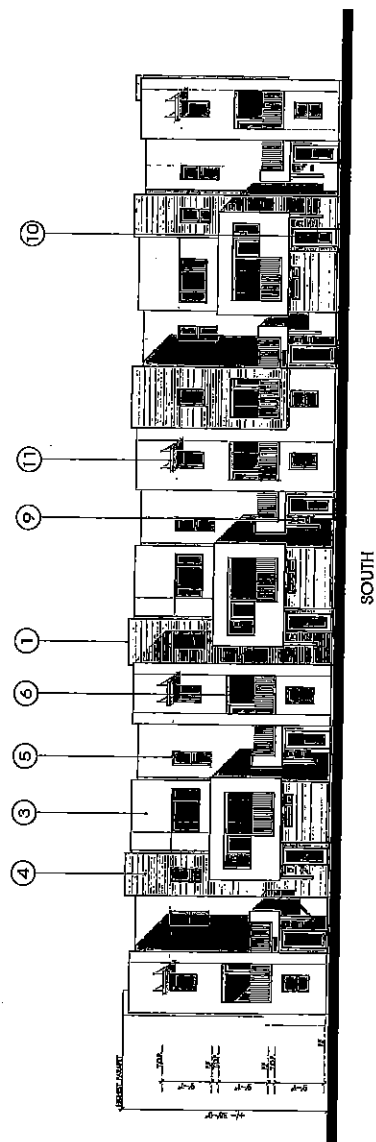
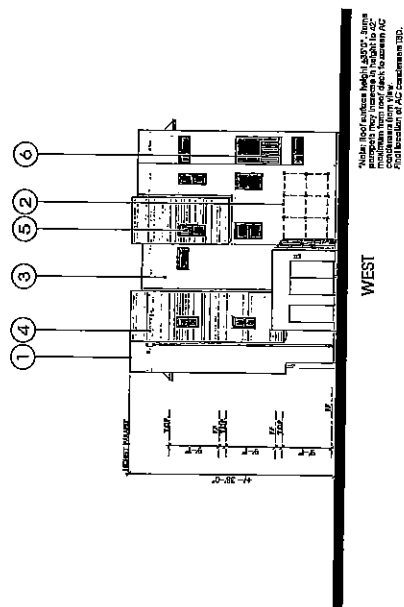
PROJECT - 19-01-17



CV Communities
7000 W. 14th Street, Suite 100
Bellaire, TX 77408

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BELLFLOWER 4
9958 ARTESIA BLVD
Bellflower, CA



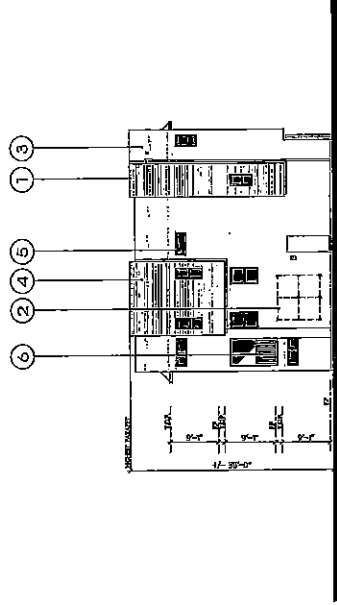
- ## Materials

- 1 Roof: Flat with Parapet
- 2 Cable Trellis
- 3 Primary Wall: Stucco Finish
- 4 Fiber Cement Siding
- 5 Vinyl Windows
- 6 Metal Rolling
- 7 Columns: Wood
- 8 Garage Door: Metal Sectional Roll-Up
- 9 Address & Coach Light
- 10 Entry Doors
- 11 Metal Awning

Note:

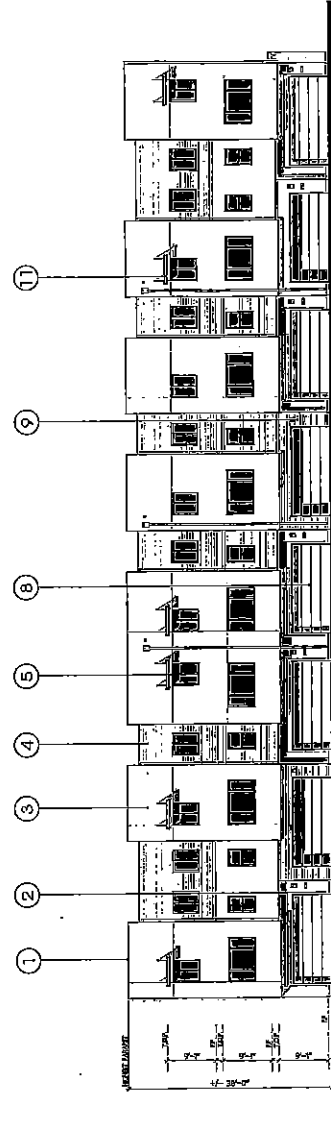
- **Direction of Elevation Varies**
- **Refer to Site Plan for Specific Locations/ Orientation**
- **Refer to 8-Plex Exterior Elevations & Color/Material Board for Color Information located on Previous Sheet**

Building 300: Exterior Elevations



Notes: 1. Refer to Section 01050 for details of all exterior finishes. 2. Refer to Section 01050 for details of all exterior finishes. 3. Refer to Section 01050 for details of all exterior finishes. 4. Refer to Section 01050 for details of all exterior finishes. 5. Refer to Section 01050 for details of all exterior finishes. 6. Refer to Section 01050 for details of all exterior finishes. 7. Refer to Section 01050 for details of all exterior finishes. 8. Refer to Section 01050 for details of all exterior finishes. 9. Refer to Section 01050 for details of all exterior finishes. 10. Refer to Section 01050 for details of all exterior finishes. 11. Refer to Section 01050 for details of all exterior finishes.

EAST



NORTH

Materials

- 1 Roof: Flat with Parapet
- 2 Cable Ties
- 3 Primary Wall: Stucco Finish
- 4 Rear Cement Siding
- 5 Vinyl Windows
- 6 Metal Roofing
- 7 Columns: Wood
- 8 Garage Door: Metal Sectional Roll-Up
- 9 Access & Coach Light
- 10 Entry Doors
- 11 Metal Finishing

Note:

- Direction of Elevation Varies
- Refer to Site Plan for Specific Locations/ Orientation
- Refer to 3-Play Exterior Elevations & Color/Material Board for Color Information located on Previous Sheet

Building 300: Exterior Elevations

Scale: 1/8" = 1'-0"

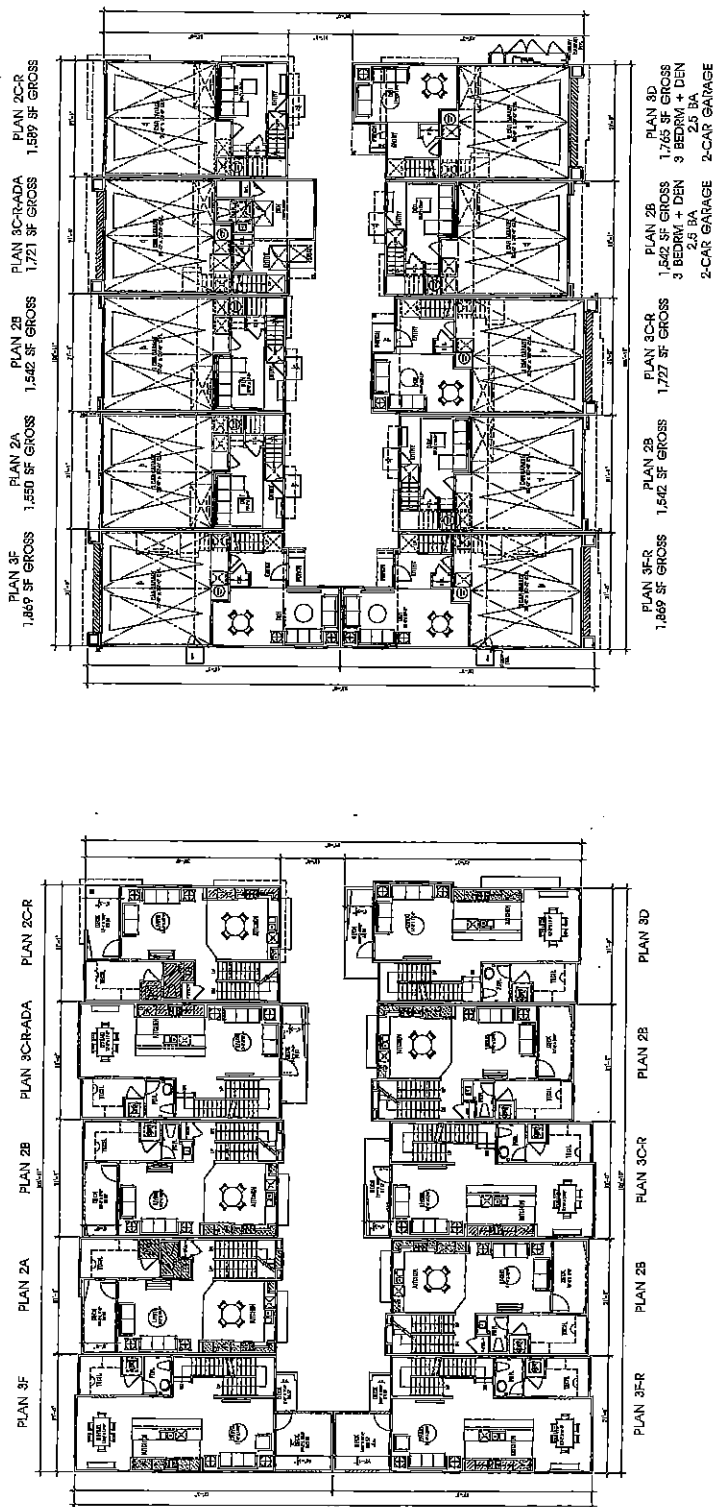
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BELFLOWER 4
9958 ARTESIA BLVD
Bellflower, CA

CV Communities
A WILSON HENNINGSEN COMPANY

WHA
WILSON HENNINGSEN ARCHITECTS

Sheet Number
A-11
01/20/2017 • 10:11:07



First Floor

Second Floor

Building Type (4-Digit)	NA, U	Type vs Non-rated	1/1R	1/1D SYSTEM PROVIDED	SUBSTITUTED TYPE VS PERM. (C/N/TABLE 300)
BUILDING OCCUPANCY GROUP					
TYPE OF CONSTRUCTION					
FIRE PROTECTION CABLEING UNIT REPAIRATION					
OPEN/UNSEED					
MAXIMUM STORAGE ALLOWED					

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Building 400: Floor Plans

BELLFLOWER 4
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CV Communities

WHA
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A-12

5-1 - 2/1, 17/01

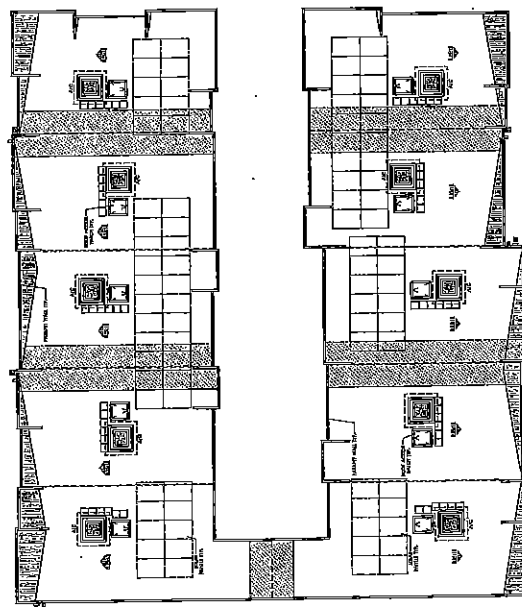
Building Type (3 to 4 place)
BUILDING OCCUPANCY GROUP
TYPE OF CONSTRUCTION
FIRE PARTITION TRAVELLING UNIT
SPRINKLERED
MAXIMUM STORES ALLOWED

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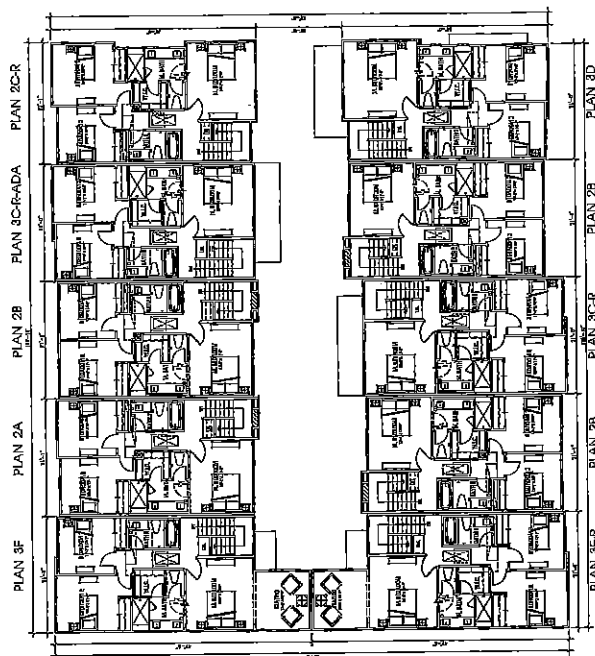
BELLFLOWER 4
9958 ARTESIA BLVD
Bellflower, CA

2-0, U
TYPE VS NON-RATED
MHR
RED SYSTEM PROVIDED

ADJUSTED, PROVIDED
BY YORKIES (TYPE V2 PER CBC TABLE 603)

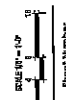


Roof Plan



Third Floor

Building 400: Floor Plans/Roof Plan



References

A-13

201507 - 1271-17



CV Communities
A/CMS Real Estate

Plan 2

Plan 3

(Refer To Landscape Drawing
for Tree Location)

*Nelson Roof Surface height 33'0". Some parapets may increase in height to AC mounting from roof deck to support AC containers from above.

Note:

- Direction of Elevation Varies
- Refer to Site Plan for Specific Locations/ Orientation

WEST

Plan 3

Plan 3

Color Scheme 1

Note: Author's conception, color, materials and application may vary.

Building 400: Elevations

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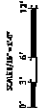
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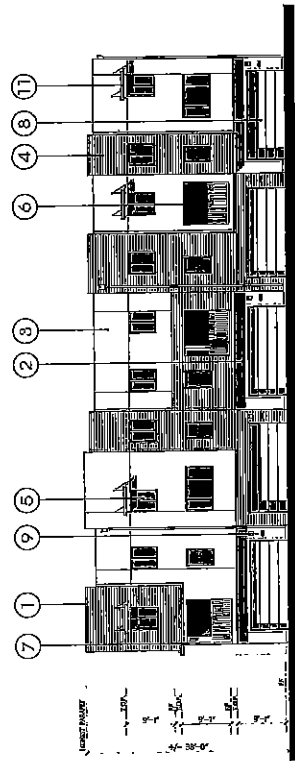


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A City & County of Colorado

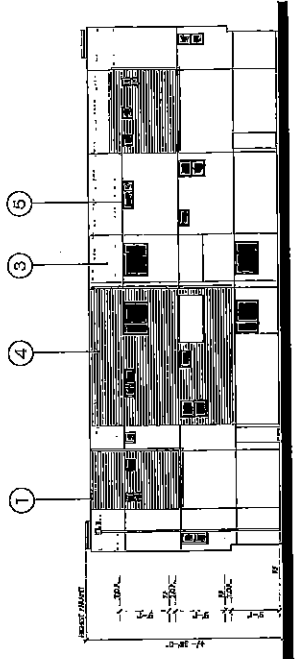
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A-14
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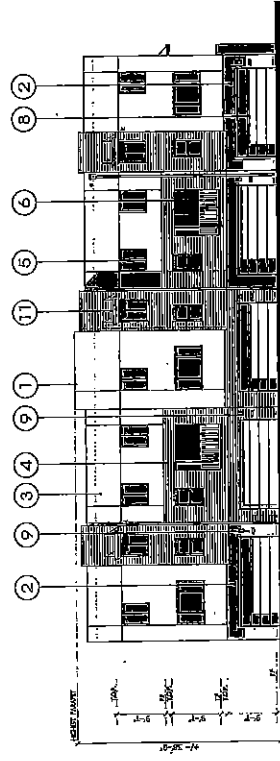




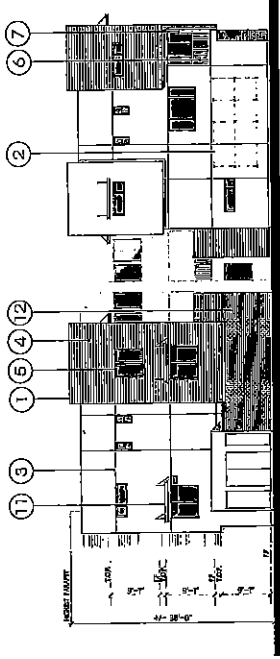
NORTH



WEST



SOUTH



EAST

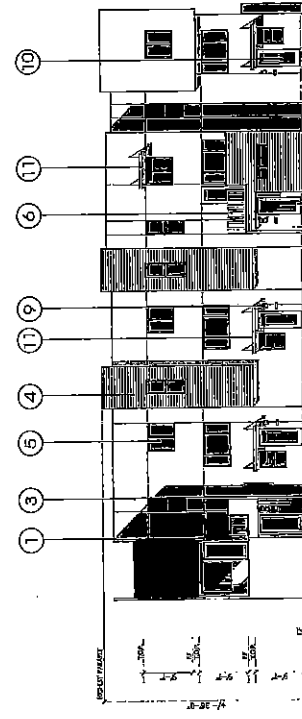
Notes: New Windows and AC Units. Some materials may be changed in order to fit the building's form and function. Final location of AC units is subject to change.

Materials

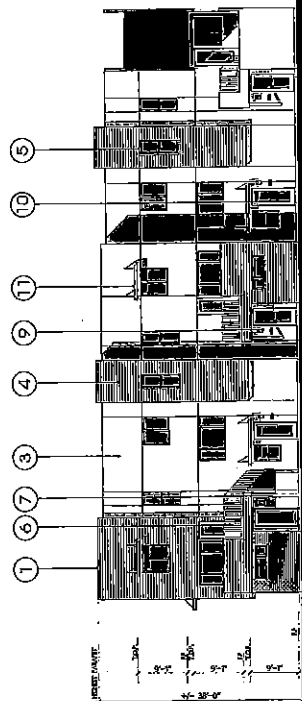
1. Roof: Flat with Parapet
2. Cable Trills
3. Primary Walk: Stucco Finish
4. Fiber Cement Siding
5. Vinyl Windows
6. Metal Roofing
7. Columns: Wood
8. Garage Door: Metal Sectional Roll-Up
9. Address & Coach Light
10. Entry Door
11. Metal Awning
12. Brick Veneer

Note:

- Direction of Elevation Varies
- Refer to Site Plan for Specific Locations
- Orientation
- Refer to 10-Plot Exterior Elevations & Color/Material board for Color Information located on Previous Sheet



NORTH COURTYARD



SOUTH COURTYARD

Building 400: Exterior and Courtyard Elevations

SCALE 1/8" = 1'-0"

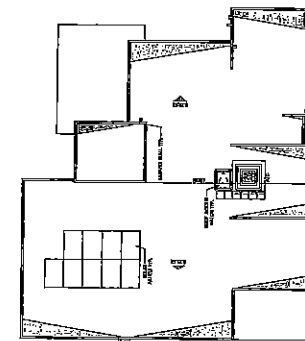
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9958 ARTESIA BLVD
BELLFLOWER, CA

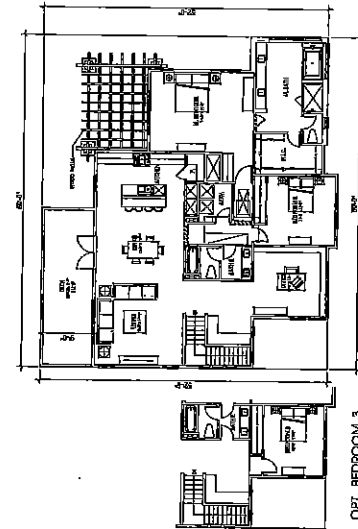
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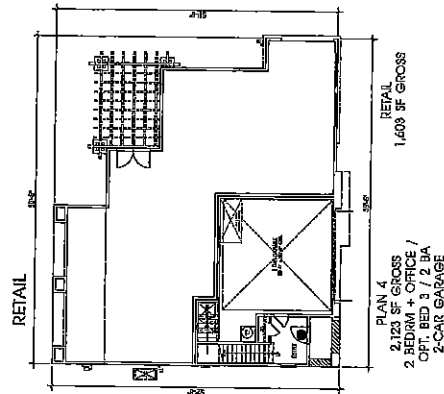
Sheet Number
A-15
REVISED - 10/14/17



Roof Plan



Second Floor



First Floor

Building Type: P4P4
 Building Occupancy: RES
 Type of Construction: TYPE IV NON-RATED
 Fire Partition: Dwelling Unit Separation
 Fire Protection: SPRINKLER
 Maximum Stories Allowed: 3 STORIES
 Full Kitchen System: PROVIDED
 3 STORIES TYPE IV RES PER TABLE 603
 ADDITIONAL STORY ALLOWED WITH FULL
 KITCHEN, BATH, AND BED ROOMS
 3 STORIES

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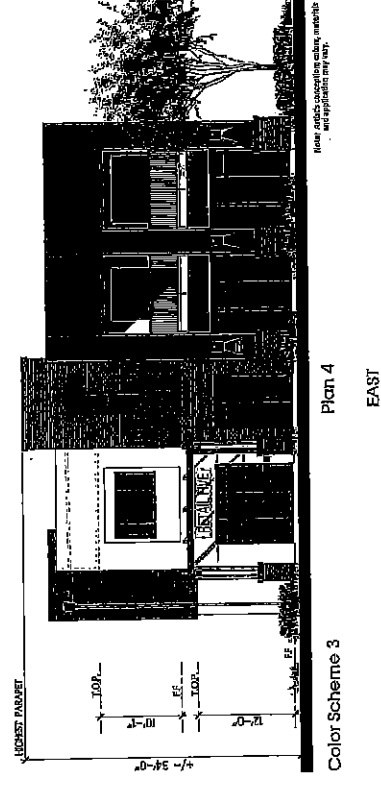
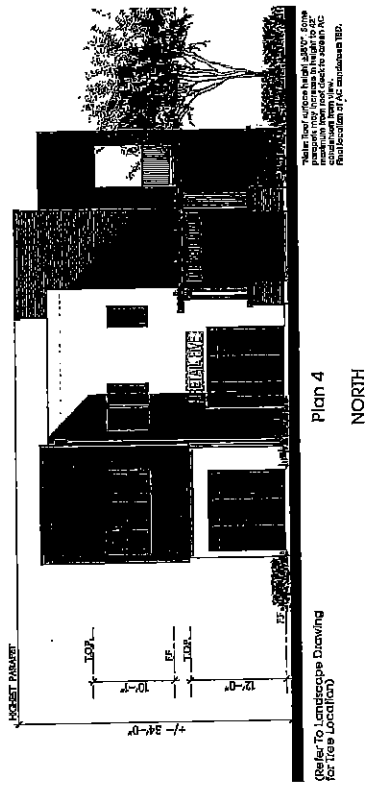
BELLFLOWER 4
 9958 ARTESIA BLVD
 Bellflower, CA

Building 100: Floor Plans/Roof Plan

Sheet Number
A-16
 201809 - 1321-09

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 A COMMUNITY DEVELOPMENT COMPANY



Building 100: Elevations

1" = 12'

Sheet Number
A-17
08/09 • 08/17

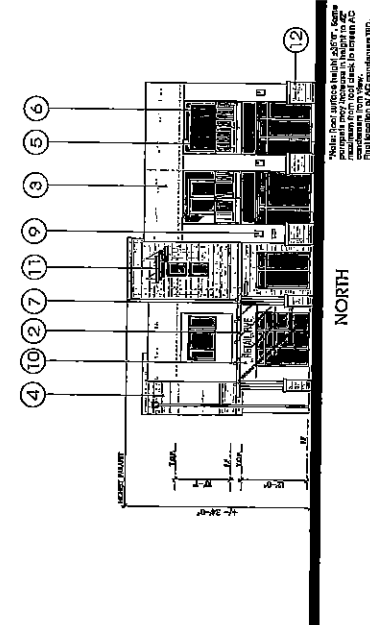
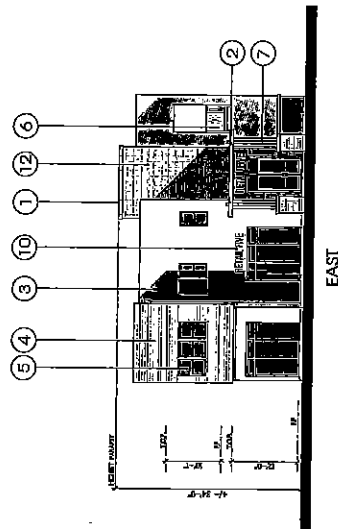
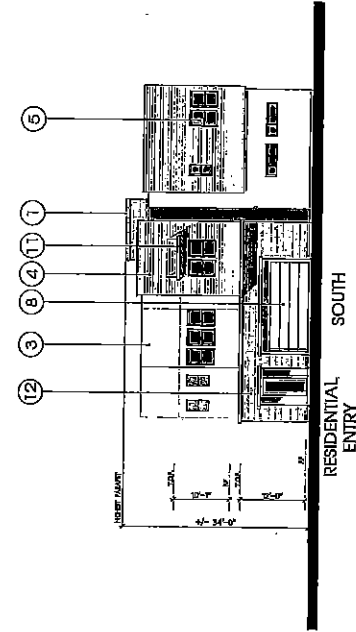
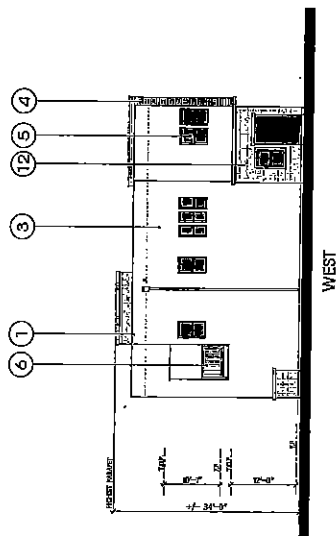
WHA
WILLIAM HERRING ARCHITECTS

CY Communities
COMMUNITY DEVELOPMENT

- Notes:
- Direction of Elevation Views
 - Refer to Site Plan for Specific Locations/ Orientation

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BELFLOWER 4
9958 ARTESIA BLVD
BELLFLOWER, CA



Materials

- 1 Roof: Flat with Parapet
- 2 Wood Sills
- 3 Primary Wall: Stucco Finish
- 4 Fiber Cement Siding
- 5 Vinyl Windows
- 6 Metal Roofing
- 7 Column: Wood
- 8 Garage Door: Metal Spall-Less Roll-Up
- 9 Address & Coach Light
- 10 Retail Signage
- 11 Metal Awning
- 12 Brick Veneer

- Note:
- Direction of Elevation Varies
 - Refer to Site Plan for Specific Locations/ Orientation
 - Refer to Building 100 Exterior Elevations & Color/Material Board for Color Information located on Previous Sheets

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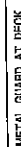
BELLFLOWER 4
9958 ARTESIA BLVD
Bellflower, CA

Building 100: Exterior Elevations

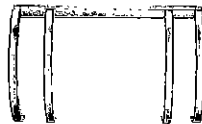
Sheet Number
A-18
DATE: 08-13-2017

WHA
CV Communities
A Division of CH2M

Scale: 1/8" = 1'-0"



the great **outdoors**[®]
by MINKA-LAVERY[®]



Job Name:	
Job Type:	
Quantity:	
Family:	Bay View [™]
Product Category:	Pocket Lantern
Item#:	9502-144-L
Finish:	Brushed Stainless Steel
Certifications:	316/316L

Light Type:	LED
Socket Type:	18
Max Weight:	Y
LED Included:	N/A
Dimmable:	N/A
CFL:	N/A
Color Temp:	2700
Initial Lumen:	N/A
Delivered Lumen:	1700/600
Rated Life Hours:	N/A
Photo Call Included:	N/A
Ballast:	N/A

Shipping:	6.05
Carton Weight:	10
Carton Width:	16.5
Carton Length:	14.25
Carton Cubic Feet:	10.85
Master Pack:	1
Master Pack Weight:	N/A
Master Pack Width:	N/A
Master Pack Height:	N/A
Master Pack Length:	N/A
Master Cubic Feet:	N/A
*Multi-Pack:	N/A
Small Package Shippable:	Y

For additional information, please contact Customer Care: 1-800-224-7877.

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by MINKA-LAVERY[®]



Job Name:	
Job Type:	
Quantity:	
Family:	Bay Crest
Product Category:	OUTDOOR LANTERN
Item#:	72212-A144
Finish:	ALUMINUM
Certifications:	305/374

Light Type:	A-19/MED
Socket Type:	E26/MED
Max Weight:	100
Bulbs Included:	N
Dimmable:	Y
CFL:	N/A
Color Temp:	0
Initial Lumen:	N/A
Delivered Lumen:	N/A
Rated Life Hours:	N/A
Photo Call Included:	N/A
Ballast:	N/A

Shipping:	8.34
Carton Weight:	12.5
Carton Width:	11.5
Carton Length:	13.5
Carton Cubic Feet:	1.123
Master Pack:	1
Master Pack Weight:	N/A
Master Pack Width:	N/A
Master Pack Height:	N/A
Master Pack Length:	N/A
Master Cubic Feet:	N/A
*Multi-Pack:	1
Small Package Shippable:	Y

For additional information, please contact Customer Care: 1-800-224-7877.

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BELFLOWER 4
9958 ARTESA BLVD
Bellflower, CA

Schematic Specifications

SCALE: 1" = 1'-0"

Sheet Number

A-20

REVISION: 1/2017

WHA

CV Communities
A COMMUNITY OF CHOICE



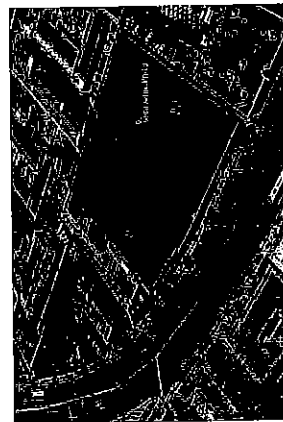
Artesia frontage looking South,
Existing Driveway to be Removed



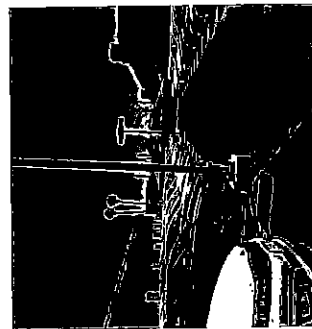
Artesia Frontage Northeast side of site looking West



Artesia frontage Northwest side of site, new entry



9908-9922 Artesia Site Aerial



Existing site condition looking South



Existing site condition looking North

Site Photos

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BELLFLOWER 4
9958 ARTESIA BLVD
Bellflower, CA

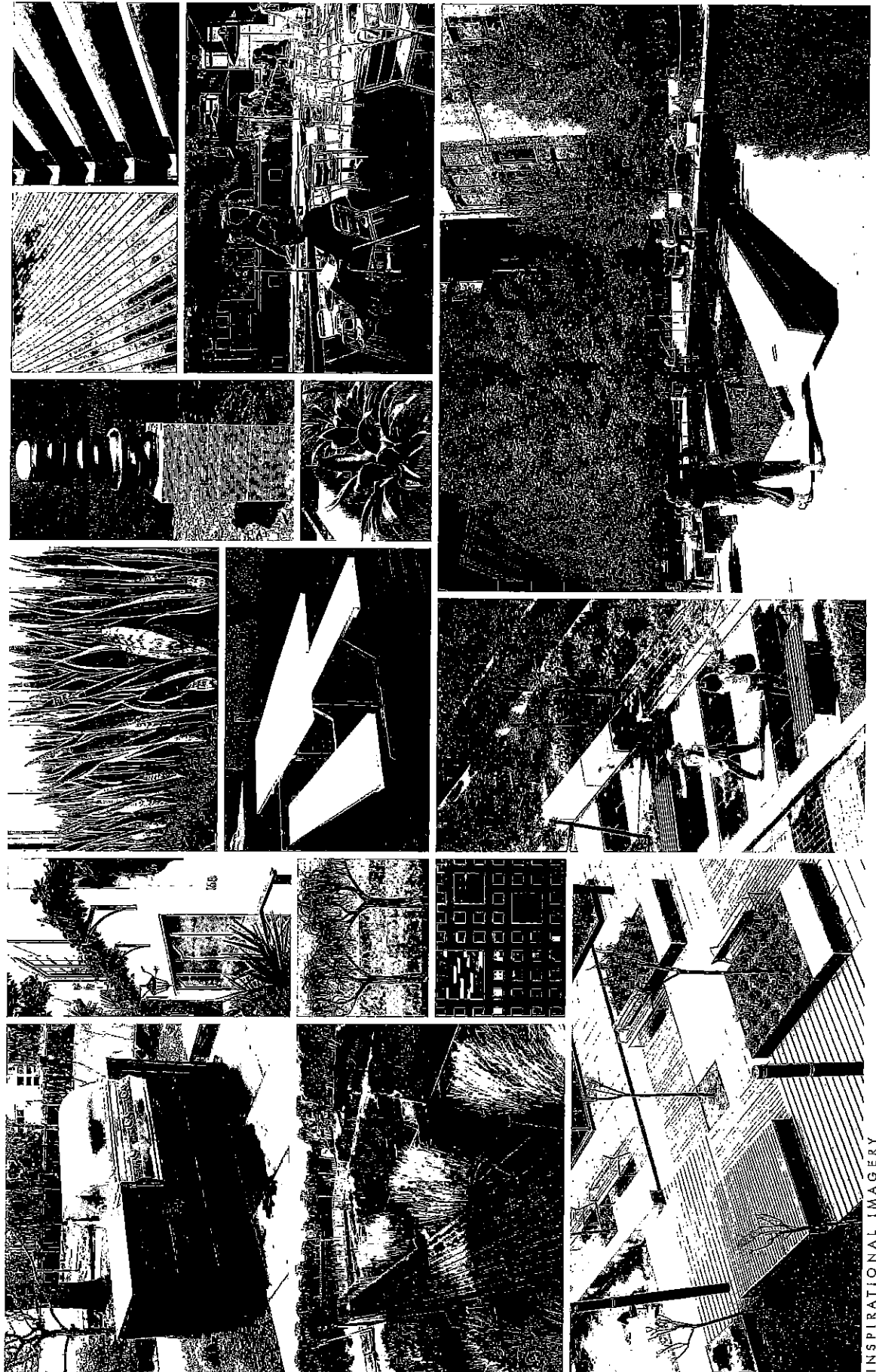
WILLIAM HERRICK ARCHITECTS
WHA
COMMUNITIES
A PARTIAL INTEREST

SCALE 1/8" = 1'-0"

Sheet Number

A-21

ISSUED - 10/01/17

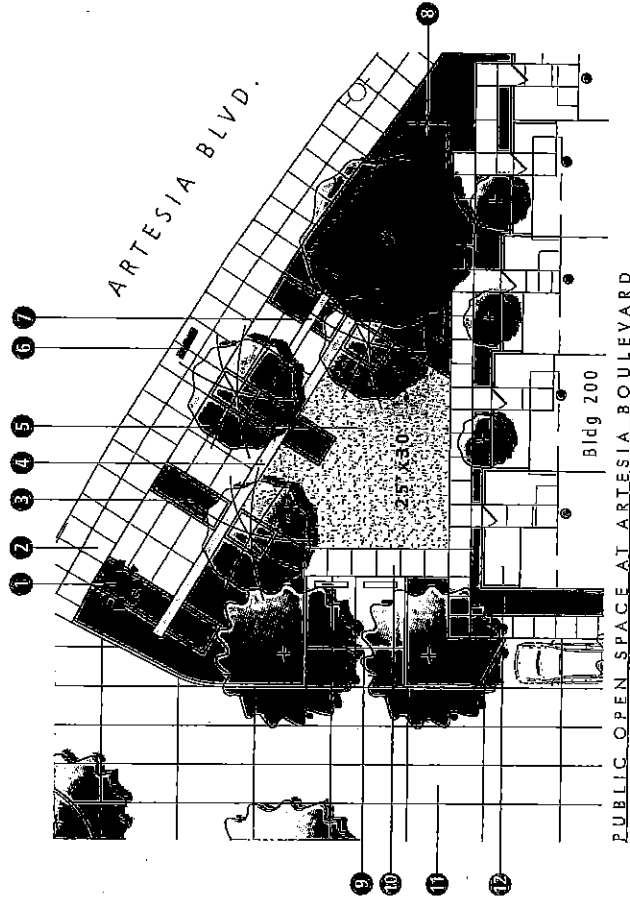


BELLFLOWER 4



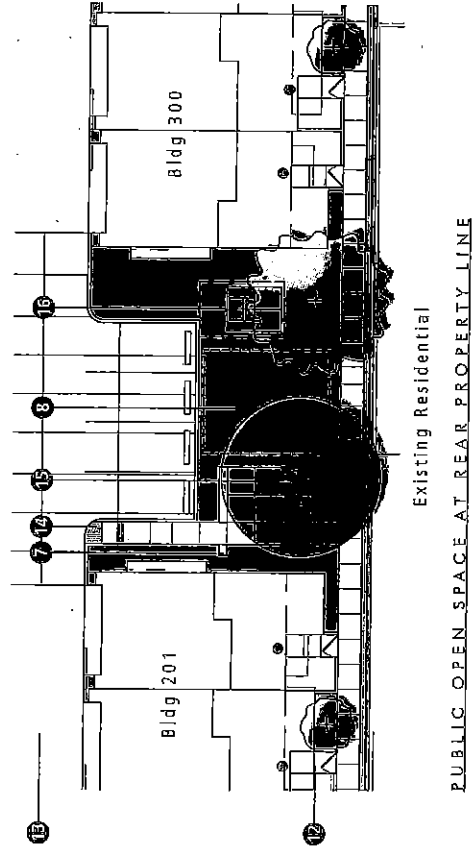
C2|Collaborative

12/27/2017



KEY

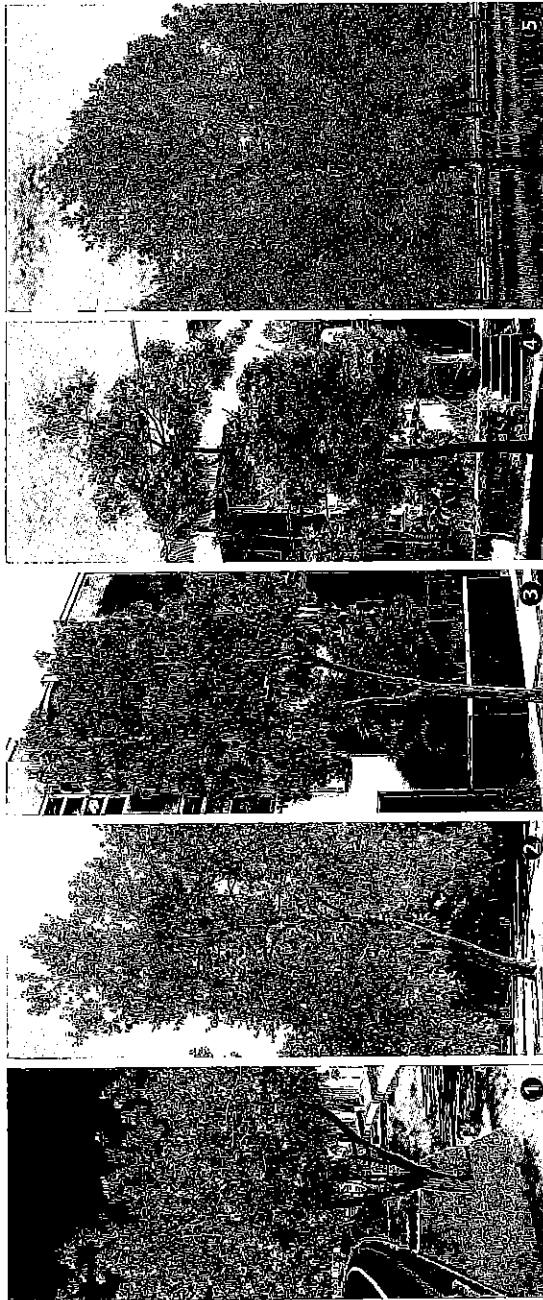
- 1 Proposed Public Art Location (in Raised Planter)
- 2 Public Sidewalk
- 3 Raised Planters (24" and 36" ht.)
- 4 Poured in Place Concrete Step (12" riser)
- 5 Lawn Area
- 6 Existing Bus Stop Bench
- 7 Poured in Place Concrete Seat Wall (18" ht.)
- 8 Bio-filtration Basin
- 9 Parking
- 10 4' Wide Concrete Walks
- 11 Enhanced Concrete Paving
- 12 Private Yards
 - 42" ht. wall and gate
- 13 Asphalt Drive Aisle
- 14 Accessible Ramp
- 15 Proposed Public Art Location (in Specimen Tree)
- 16 Transformer



Existing Residential



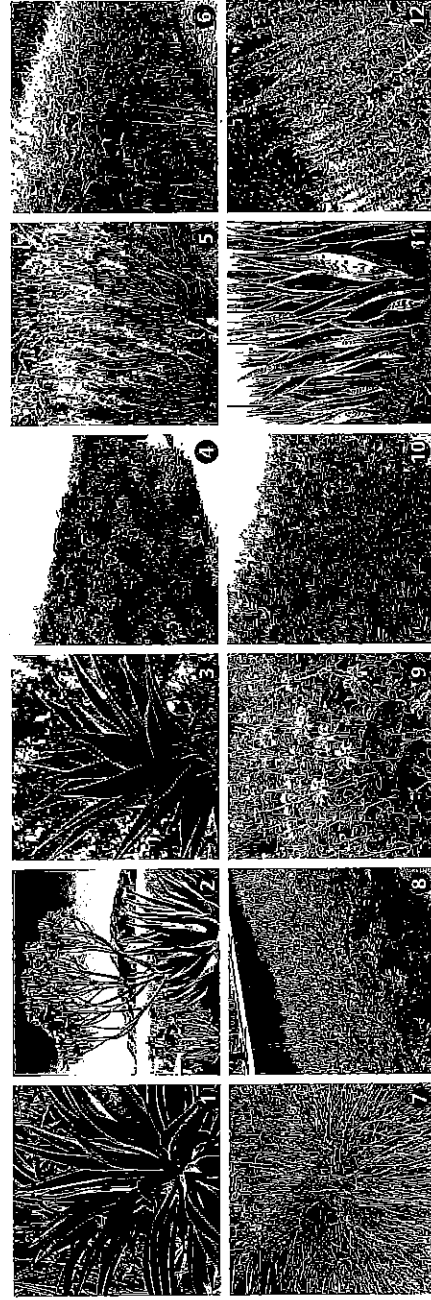
PLANT PALETTE		
Trees	Size	Qty.
1 Chitalpa x lasikentensis (Chitalpa)	24" box	6
2 Platanus racanosa (California Sycamore)	48" box	3
3 Tristantia coriferta (Tristane Box)	36" box	8
4 Hymenosperrum flavum (Sweet Shade)	24" box	5
5 Quercus virginiana (Southern Live Oak)	60" box	1



TREES

Shrubs and Groundcover

- 1 Agave desmettiana (Smooth Agave) 15 gal.
- 2 Aloe hereroensis (Sand Aloe) 5 gal.
- 3 Aloe Vera (Aloe) 5 gal.
- 4 Bougainvillea 'San Diego Red' (Bougainvillea) 15 gal.
- 5 Bulbine frutescens 'Hallmark' (Orange Stalked Bulbine) 5 gal.
- 6 Bambusa multiplex (Alphonso Karr Bamboo) 5 gal.
- 7 Carex tunulicola (Foothill Sedge) 5 gal.
- 8 Ilex vomitoria (Stokes' Dwarf Yaupon Holly) 5 gal.
- 9 Phlomis lanata (Jerusalem Sage) 5 gal.
- 10 Podocarpus macrophyllus (Yew Pine) 5 gal.
- 11 Sansevieria trifasciata (Mother-in-Laws Tongue) 5 gal.
- 12 Salvia Leucantha (Mexican Sage) 5 gal.



SHRUBS AND GROUNDCOVER

NOTES:

1. 90% of this list is drought tolerant (low water use plants)
2. Plan will have a minimum of (1) 24" - 48" box tree per unit.
3. Plan will have a minimum of (5) 5 gal. plants per 1,000 sq. ft. of residential/commercial floor area.
4. Un-sodded, mounded planters adjacent to public sidewalk shall be provided with 6" curbs to prevent soil run-off onto public sidewalk.

CONCEPTUAL PLANT IMAGERY

BELLFLOWER 4



C2 Collaborative

12/2/2017

